

Note:

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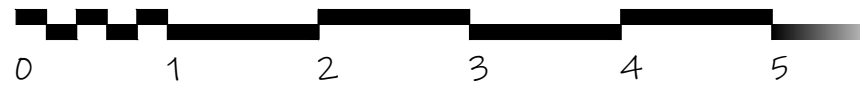
Domestic clients
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- (a) Last longer than 30 working days and has more than 20 workers working simultaneously at any point in the project.
Or:
(b) Exceeds 500 person days.

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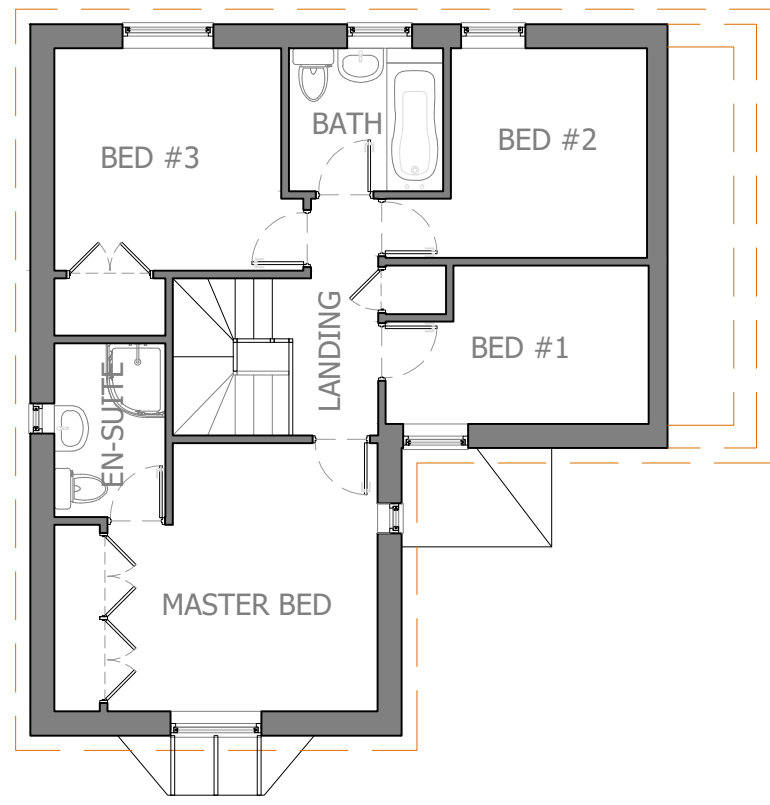


REVISIONS:			

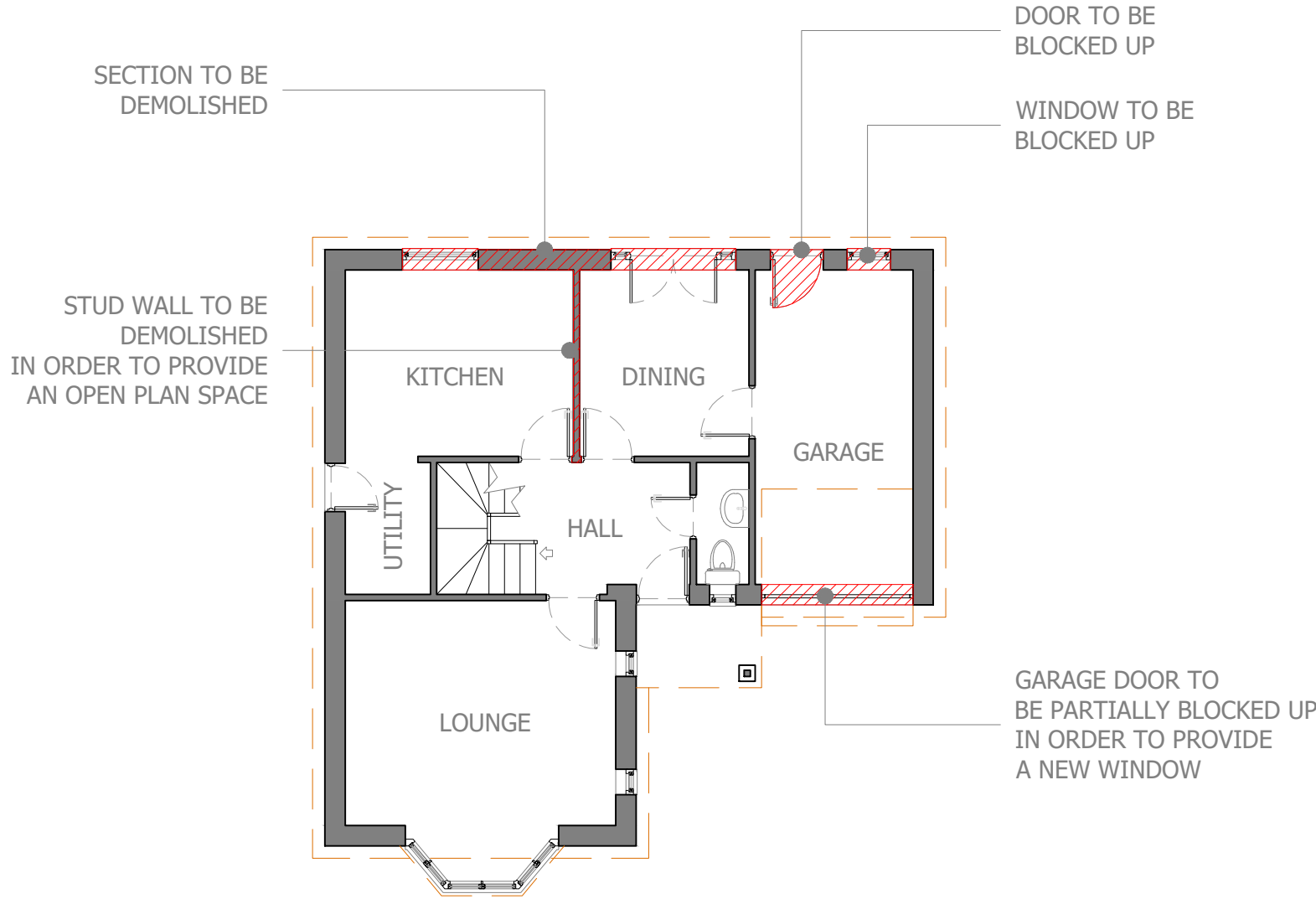
Tower Residential Design Ltd.
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West Sussex, RH7 6HT, U. K.



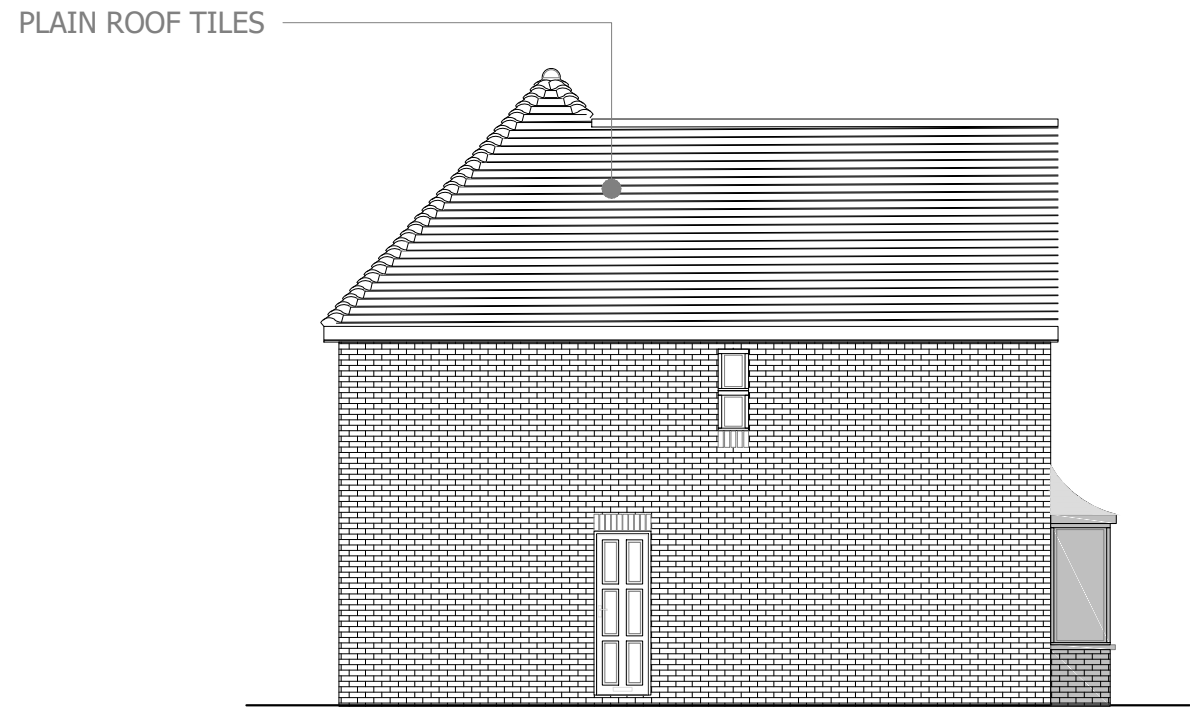
TITLE:	
BUILDING REGULATIONS EXISTING PLANS + ELEVATIONS 8 ELVINGTON GARDEN LUTON BEDFORDSHIRE LU3 4ET	
DRAWN:	DATE
AAV	30/09/2021
SCALES:	PP# / BC#
1:100 @A1	
DRG No.	TRD-2104 - A1-04



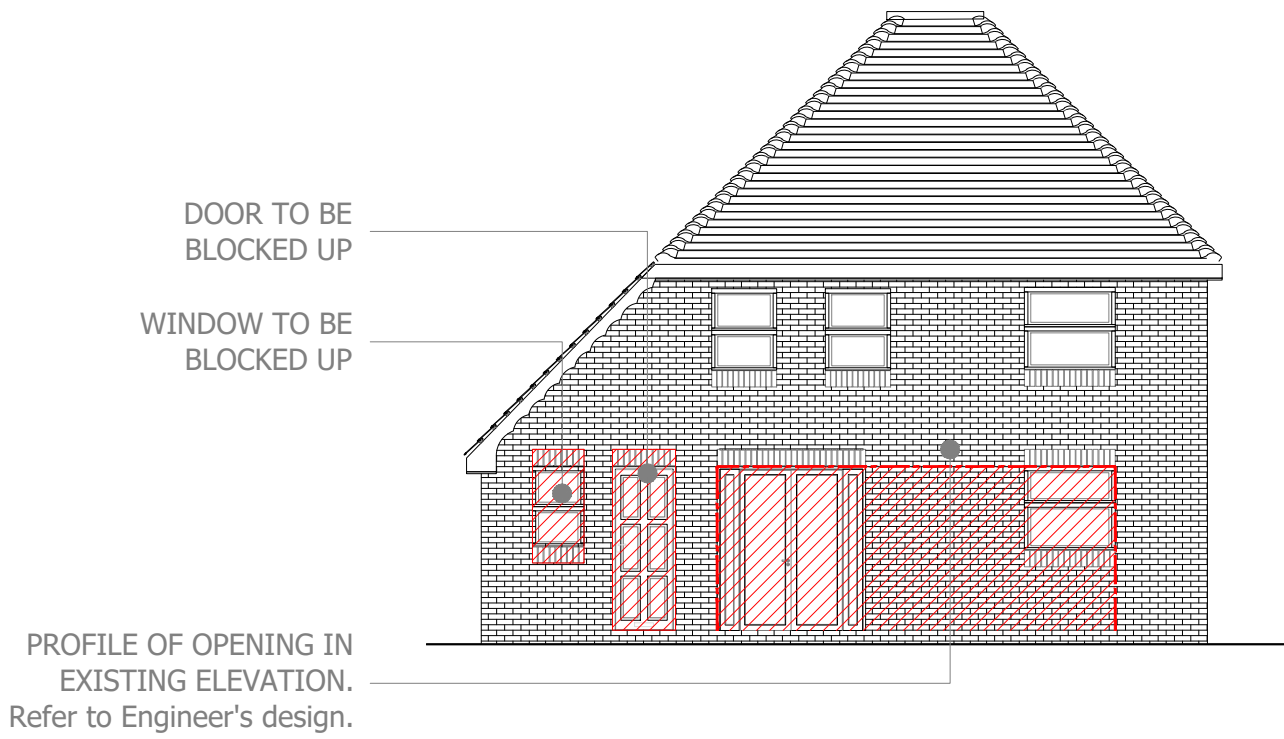
EXISTING FIRST FLOOR
SCALE 1:100



EXISTING GROUND FLOOR
SCALE 1:100



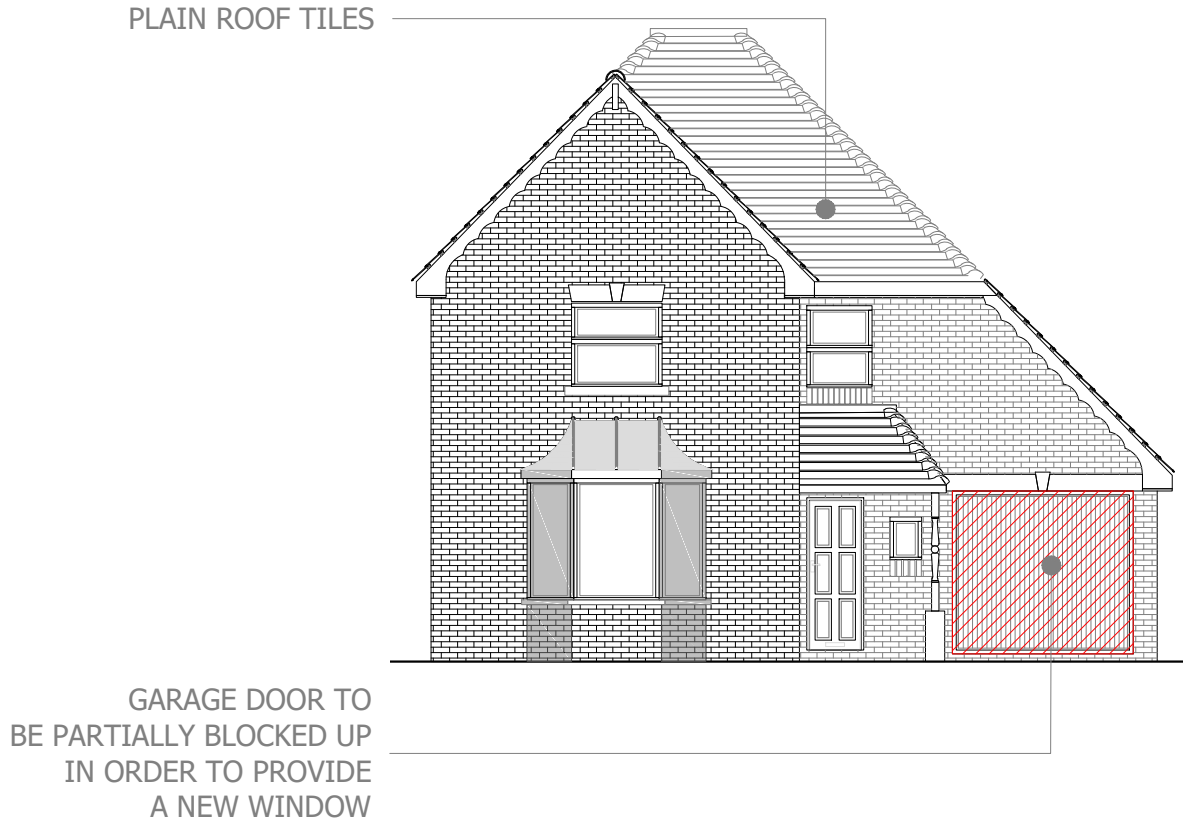
EXISTING SOUTH VIEW
SCALE 1:100



EXISTING WEST VIEW
SCALE 1:100



EXISTING NORTH VIEW
SCALE 1:100



EXISTING EAST VIEW
SCALE 1:100

Preparation, protection, access & demolition:
All necessary scaffolding, access ladders, material hoists, temporary protection and working platforms etc for works are to be erected, maintained, certified, dismantled and removed by suitably qualified and insured specialists.
All plumbing, drainage, heating, electrical services etc including re-siting of heating appliances/boilers/flues/tanks etc to be altered/modified/adjusted by suitably qualified & experienced specialists or registered competent persons.
The contractor is to allow for and maintain all temporary protection to the building to maintain weather tightness until completion of works. All timber is to be protected on site to minimise moisture content (not exceeding 22%).

Inspection of existing structure:
Existing foundations, lintels and wall structure that will be built off or support the new upper storey extension loadings from the proposed works may need to be exposed at the discretion of the Building Control Surveyor and structural engineer to ensure they are adequate and suitable - this may include opening up or excavating walls/floors (and subsequent making good) to check internal foundations or walls.
Should the existing structure not appear adequate to support the proposed works then proposed remedial works/alterations may be required to be submitted to Building Control for approval prior to works commencing on site.

CONSTRUCTION NOTES:
These notes are to be read in conjunction with all relevant Architect's drawings and details, Chartered Engineer's details and calculations, and any other specialist consultants' details and specifications.

It is the responsibility of the contractor to ensure that all their work is in compliance with the appropriate requirements of the relevant building regulations and other allied legislation. Contractor to thoroughly read plans and calculations before commencement to ensure thorough understanding of all aspects of proposals.

All work to be carried out in strict accordance with all current Building Regulations requirements, British Standards, Codes of Practice, Agrément Certificates, Yorkshire Water Authority procedures and relevant HSE requirements.

All dimensions must be checked and verified on site prior to commencement of work and architect notified of any discrepancies. Horizontal and vertical setting-out of buildings, roads and drainage to be agreed with LA before commencement of work.

All materials to be installed in strict accordance with manufacturers' recommendations, all relevant Agrément Certificates, British Standards etc and to Local Authority approval.

Any deviation or change from materials as specified in these notes and on the relevant drawings to be agreed in writing with the Building Inspector prior to commencement of work.

It is the Contractor's responsibility to submit all appropriate Building Notices for Building Control inspections before relevant works are covered up.

Calculations where required for loading, strength and structural stability to be submitted by Chartered Engineer for approval by Local Authority.

CONSTRUCTION NOTES cont:
All timbers to be fit for purpose and to have suitable double Vac-Vac preservative treatment or equivalent Local Authority approved pressure-impregnation method.
All structural timbers to be in full accordance with BSS268 Part 2.
All general joinery timber to be in full accordance with BS1186 Parts 1 & 2.
Covered up structural timbers to be fit-for-purpose selected structural grade C24 treated SW timbers to BS EN 338.

Site to be used only for the demolition / construction of the proposed works, which is to be protected at all times along with adjacent properties, not forming part of the works.
care must be taken at all times to ensure that any works on the supply of all services into and from property, ie electricity, water, gas, bt, foul water and surface water drainage, does not, at any time interfere with the supply of services into or out from the adjacent properties, is not affected, if this proves not to be the case, then the contractor is to fully advise properties affected, as soon as problem is known, and is to negotiate with adjacent properties regarding any appropriate action that may be required. prevent smoke, dust, fumes, spillage, and other harmful activities. no fires to be allowed on site, at any time; noise levels to be kept to a reasonable level, complying with bs 5228 - 'noise control on construction sites'.

Rubbish and debris must not be allowed to accumulate on site and is to be carted away to licensed tip as occasion demands. Site to be left clean and tidy on completion.

Contractor, sub-contractors etc. to comply with health and safety regulations during execution of the works.
Locate existing services before works commence. Take all necessary precautions when carrying out demolition works, forming new openings, excavations and working at roof or/and high level. for alteration work requiring new openings in walls or the removal of existing walls, the builder is to follow the guidance in the building research establishment 'good building guides' 15 and 20 - 'providing temporary support during work on openings in external walls' and 'removing internal load-bearing walls in older dwellings'.
Any live mains electrical cables within working distance to be sheathed / protected.

PLEASE NOTE: All the materials specified and the construction details shown are not to be changed) without the full knowledge and prior approval of the client as any changes may have a detrimental effect on the designed/required carbon emissions of the structure as designed.

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Domestic clients

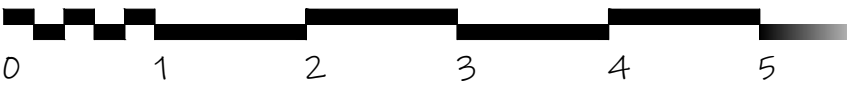
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REVISIONS:

A	REVISED AS PER LETTER RECEIVED FROM BC ON 7TH DECEMBER 2021	AAV 26.12.21

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West Sussex, RH7 6HT, U. K.



TITLE:

BUILDING REGULATIONS
PROPOSED PLANS

8 ELVINGTON GARDEN
LUTON
BEDFORDSHIRE
LU3 4ET

DRAWN: AAV **DATE:** 30/09/2021

SCALES: 1:50 2D A1 **PP# / BC#**

DRG No. TRD-2104 - A2/04 - A

Outline of proposed foundation profile. Refer to Engineer's design. Eccentric foundations to be installed at boundaries with neighbours.

PROVIDE A NEW DRAINAGE RUN TO BE CONNECTED TO EXISTING DRAINAGE. DOUBLE CHECK THAT EXISTING DRAINAGE IS COMBINED OR OTHERWISE BEFORE COMPLETING THIS WORK

NEW STUD WALL TO BE BUILT

NEW STUD WALL TO BE BUILT

Proposed Kitchen ventilation should be run externally and finished in a mushroom vent weather proof terminal.

STUD WALL TO BE DEMOLISHED

DOOR TO BE BLOCKED UP

WINDOW TO BE BLOCKED UP

NEW WINDOWS
New windows to be double glazed with 16mm argon gap and soft coat low-E glass. Window Energy Rating to be Band C or better and to achieve U-value of 1.6 W/m²K.

NEW WINDOWS
New windows to be double glazed with 16mm argon gap and soft coat low-E glass. Window Energy Rating to be Band C or better and to achieve U-value of 1.6 W/m²K.

EXTRACT TO KITCHEN

Kitchen to have mechanical ventilation with an extract rating of 60l/sec or 30l/sec if adjacent to hob to external air, sealed to prevent entry of moisture. Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide. Intermittent extract fans to BS EN 13141-4. Cooker hoods to BS EN 13141-3. All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body.

102.5mm BRICKWORK FACING
50mm AIR GAP
40mm INSULATION BOARD
100mm BLOCKWORK 1400 Kg/m³
(K-Value = 0,51 W/Mk)
15mm PLASTER DABS CAVITY
12.5mm PLASTERBOARD
3mm PLASTER SKIM
U-VALUE = 0,28W/m²K

Opening in existing elevation. A crank beam may be required to avoid RSJ being outside of extension.
Refer to Engineer's design

EXISTING FLOOR/SLAB TO BE DEMOLISHED IN CASE OF ABSENCE OF A DPC

102.5mm BRICKWORK FACING
50mm AIR GAP
40mm INSULATION BOARD
100mm BLOCKWORK 1400 Kg/m³
(K-Value = 0,51 W/Mk)
15mm PLASTER DABS CAVITY
12.5mm PLASTERBOARD
3mm PLASTER SKIM
U-VALUE = 0,28W/m²K

PROPOSED GROUND FLOOR
SCALE AS PER SHEET TITLE

PROPOSED FIRST FLOOR
SCALE AS PER SHEET TITLE

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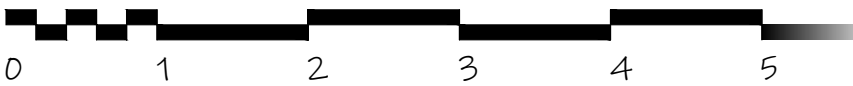
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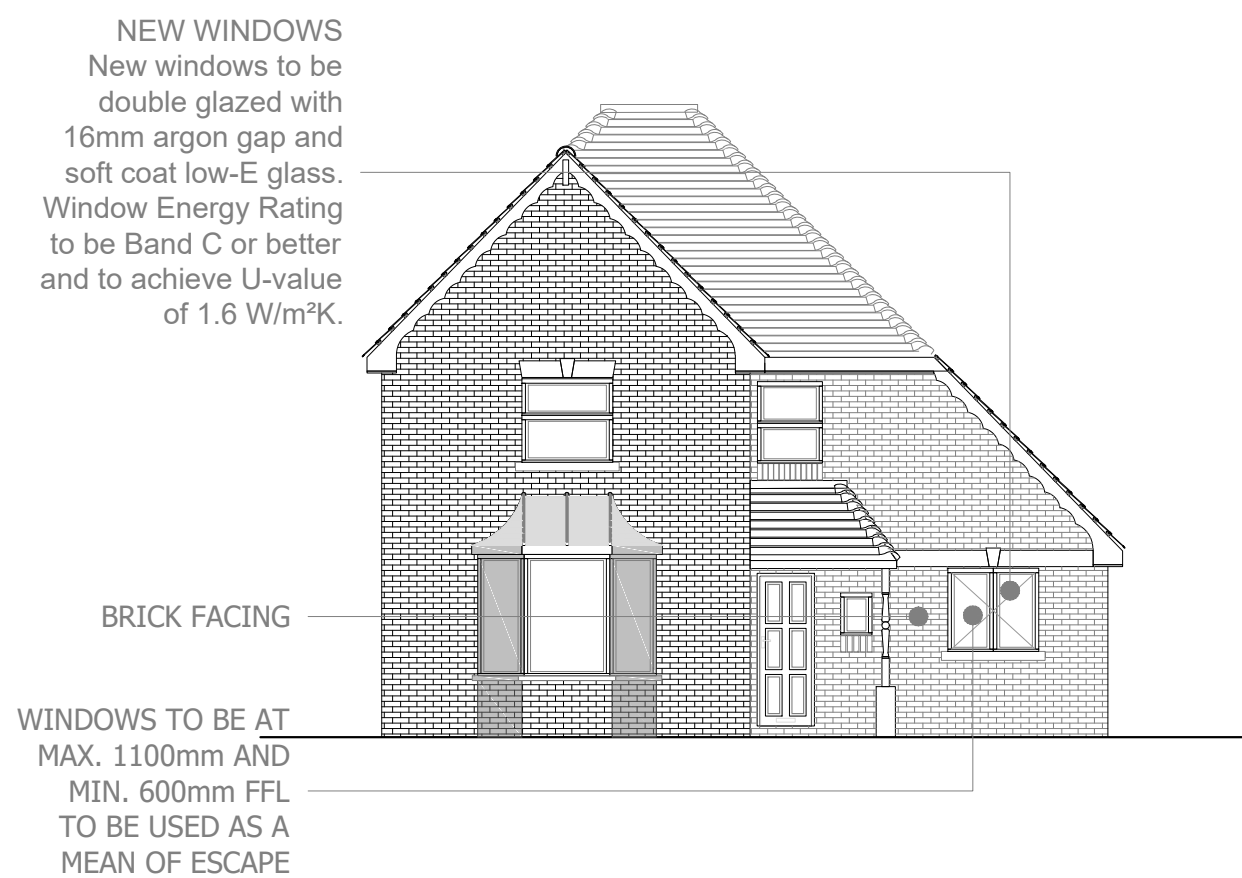
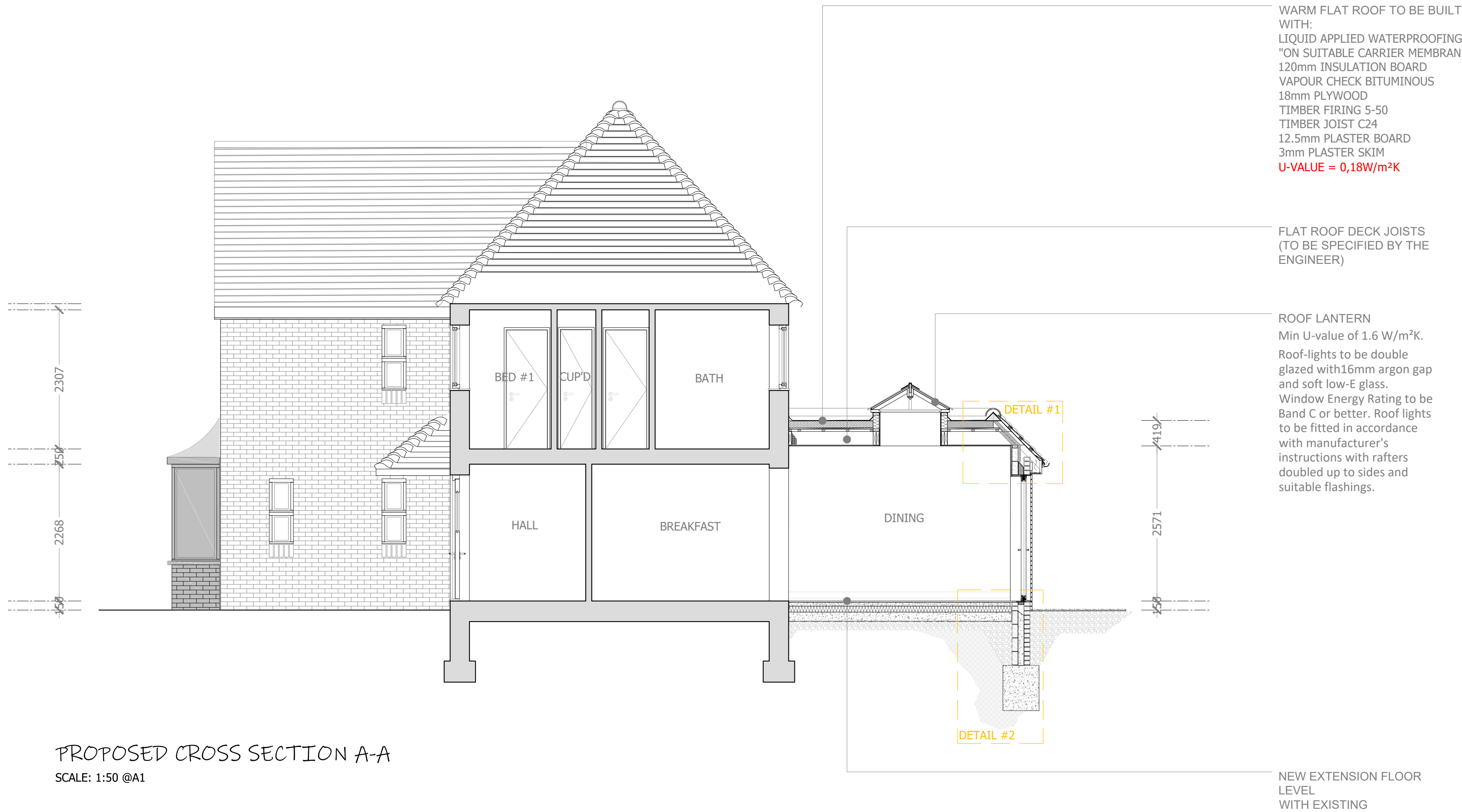
TITLE:

BUILDING REGULATIONS
CROSS SECTION
+
ELEVATIONS
8 ELVINGTON GARDEN
LUTON
BEDFORDSHIRE
LU3 4ET

DRAWN: AAV **DATE:** 30/09/2021

SCALES: 1:50 & 1:100 @A1 **PP# / BC#**

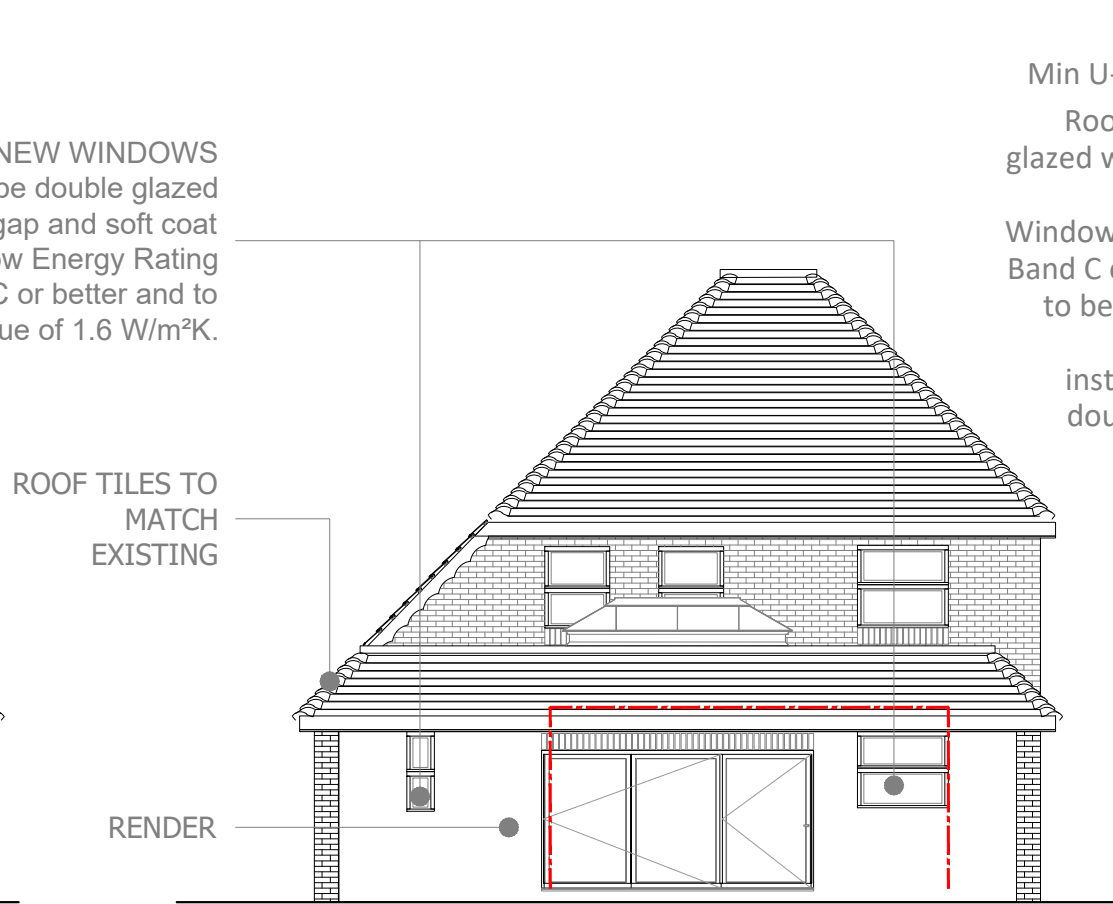
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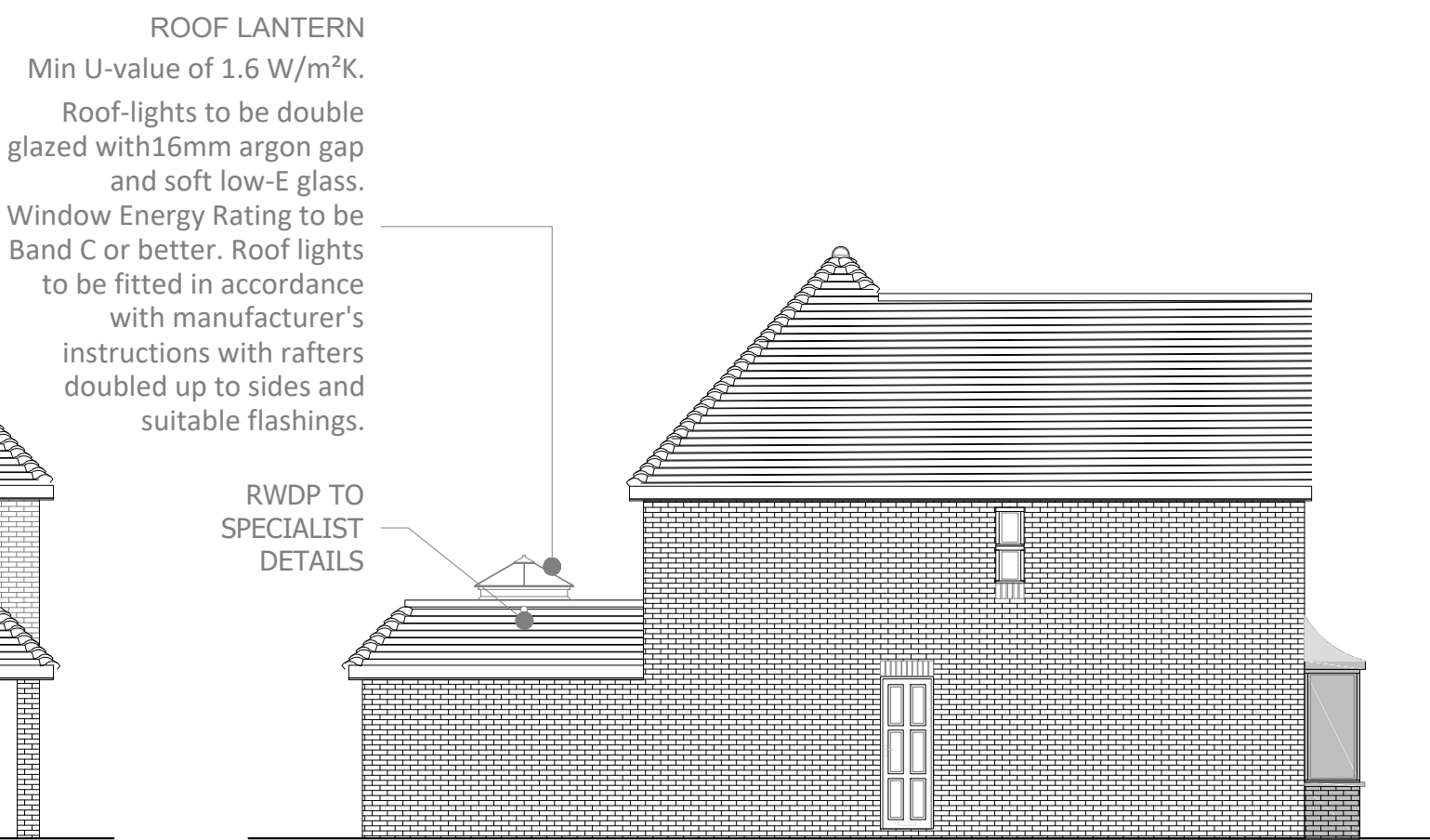
PROPOSED EAST VIEW
SCALE: 1:100 @A1



PROPOSED NORTH VIEW
SCALE: 1:100 @A1



PROPOSED WEST VIEW
SCALE: 1:100 @A1



PROPOSED SOUTH VIEW
SCALE: 1:100 @A1

CONSTRUCTION NOTES:

PART A: STRUCTURE
BEAMS

Supply and install new structural elements such as new beams, roof structure, floor structure, bearings, and padstones in accordance with the Structural Engineer's calculations and details. New steel beams to be encased in 12.5mm Gyproc FireLine board with staggered joints, Gyproc FireCase or painted in Nullfire S or similar intumescent paint to provide 1/2 hour fire resistance as agreed with Building Control. All fire protection to be installed as detailed by specialist manufacturer.

TRENCH FOUNDATIONS

Provide concrete foundations to satisfy the Structural Engineer and Buildng Control accordingly. Concrete mix should conform to BS EN 206-1 and BS 8500-2. All foundations to be a minimum of 1000mm below ground level, exact depth to be agreed on site with Building Control Officer to suit site conditions. All constructed in accordance with 2004 Building Regulations A1/2 and BS 8004:1986 Code of Practice for Foundations.

Ensure foundations are constructed below invert level of any adjacent drains. Base of foundations supporting internal walls to be min 600mm below ground level. Sulphate resistant cement to be used if required. **Please note that should any adverse soil conditions or difference in soil type be found or any major tree roots in excavations, the Building Control Officer is to be contacted and the advice of a structural engineer should be sought.**

PART B: FIRE SAFETY

Joints between fire-seperating elements should be fire-stopped and all openings for pipes, ducts, conduits, cables to pass through any part of a fire-seperating element should be kept few in number as possible, kept small as practicable and fire-stopped (allowing for thermal movement in ducts and pipes.) Any such joints between fire separating elements should have a minimum of 30mins fire resistance in line with surrounding construction.

Heat detector in kitchen area to be linked to smoke detectors on landings and hallways.

All smoke alarms should be mains operated and conform to BS 5839-6:2017. They should have secondary power supply. All alarms should be linked so that if one is set off then all will alarm.

S = Smoke Detector
H = Heat Detector

PART F: VENTILATION
BACKGROUND AND PURGE VENTILATION

Background ventilation - Controllable background ventilation via trickle vents to BS EN 13141-3 within the window frame to be provided to new habitable rooms at a rate of min 5000mm², and to kitchens, bathrooms, WCs and utility rooms at a rate of 2500mm²

Purge ventilation - New Windows/rooflights to have openable area in excess of 1/20th of their floor area, if the window opens more than 30° or 1/10th of their floor area if the window opens less than 30°
Internal doors should be provided with a 10mm gap below the door to aid air circulation.
Ventilation provision in accordance with the Domestic Ventilation Compliance Guide.

EXTRACT VENT FOR PROPOSED WET AREAS

Provide mechanical extract ventilation to shower room/ WC/ Ensuite/ Bathroom ducted to external air capable of extracting at a rate of not less than 15 litres per second. Vent to be connected to light switch and to have 15 minute over run if no window in the room. Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide. Intermittent extract fans to BS EN 13141-4. All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body.

EXTRACT VENT TO UTILITY ROOM

To utility room provide mechanical ventilation ducted to external air capable of extracting at a rate of 30 litres per second. Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide. Intermittent extract fans to BS EN 13141-4. All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body.

WINDOWS/ DOORS

All opening sashes to be draught-stripped to a minimum U-value of 1.4W/m2 K. All overhead glazing to be laminated safety glass. New windows to be fitted with 4000mm2 trickle vents to head of frame. External leafs of glass to have solar control filters and UV filters to clients requirements fitted to the outer leaf on the cavity side of the pane of glass. ALL OPENINGS TO BE FINISHED WITH INSULATED CAVITY CLOSERS. Confirm order with client prior to purchase.

ROOF LIGHTS

Min U-value of 1.4 W/m²K.
Roof-lights to be double glazed with 16mm argon gap and soft low-E glass. Window Energy Rating to be Band C or better. Roof lights to be fitted in accordance with manufacturer's instructions with rafters doubled up to sides and suitable flashings etc.

SAFETY GLAZING

All glazing in critical locations to be toughened or laminated safety glass to BS 6206, BS EN 14179 or BS EN ISO 12543-1:2011 and Part K (Part N in Wales) of the current Building Regulations, i.e. within 1500mm above floor level in doors and side panels within 300mm of door opening and within 800mm above floor level in windows.

NEW AND REPLACEMENT WINDOWS

New and replacement windows to be double glazed with 16mm argon gap and soft coat low-E glass. Window Energy Rating to be Band C or better and to achieve U-value of 1.4 W/m²K. The door and window openings should be limited to 25% of the extension floor area plus the area of any existing openings covered by the extension.

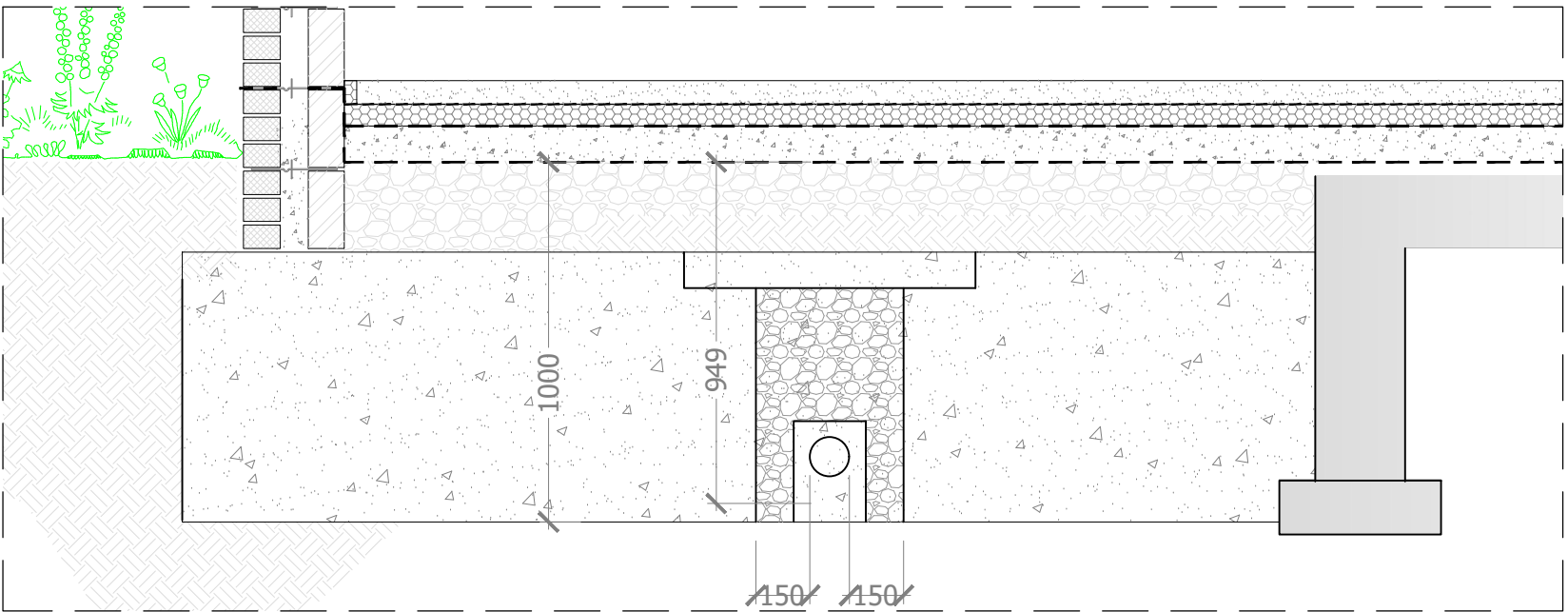
NEW AND REPLACEMENT DOORS

New and replacement doors to achieve a U-Value of 1.8W/m²K. Glazed areas to be double glazed with 16mm argon gap and soft low-E glass. Glass to be toughened or laminated safety glass to BS 6206, BS EN 14179 or BS EN ISO 12543-1:2011 and Part K (Part N in Wales) of the current Building Regulations.

PART H: DRAINAGE AND WASTE DISPOSAL

RAINWATER DRAINAGE

New rainwater goods to be new 110mm UPVC half round gutters taken and connected into 68mm dia UPVC downpipes. Rainwater taken to new soakaway, situated a min distance of 5.0m away from any building, via 110mm dia UPVC pipes surrounded in 150mm granular fill. Soakaway to be min of 1 cubic metre capacity (or to depth to Local Authorities approval) with suitable granular fill and with geotextile surround to prevent migration of fines. If necessary carry out a porosity test to determine design and depth of soakaway.



DRAINAGE BUILD OVER SECTION

SCALE: 1:20 @A1

UNDERGROUND FOUL DRAINAGE

Underground drainage to consist of 100mm diameter UPVC proprietary pipe work to give a 1:40 fall. Surround pipes in 100mm pea shingle. Provide 600mm suitable cover (900mm under drives). Shallow pipes to be covered with 100mm reinforced concrete slab over compressible material. Provide rodding access at all changes of direction and junctions. All below ground drainage to comply with BS EN 1401-1: 2009.

Where drains pass through proposed foundations or other rigid structures a concrete lintel should be used to bridge the pipe run. All existing and proposed drainage runs should be cleaned and confirmed clear prior to covering over.

INSPECTION CHAMBERS

Underground quality proprietary UPVC 450mm diameter inspection chambers to be provided at all changes of level, direction, connections and every 45m in straight runs. Inspection chambers to have bolt down double sealed covers in buildings and be adequate for vehicle loads in driveways.

ABOVE GROUND DRAINAGE

New sinks to kitchen/ bathrooms to have trapped waste pipes.

All new appliances to be fitted with the minimum waste dimensions;

	Trap diameter	Depth of seal
Kitchen sink	40	75
Washbasin	32	75
Bath, Shower	40	50
W.C.	75	50
Washing Machine/ Tumble Dryer	40	75

All new piping to be connected to new SVP's accordingly based on positioning and layout. Ensure that all joints are adequately sealed.

All boxed in pipework should be wrapped in an acoustic mineral wool to minimise sound transmission.

All new above ground drainage and plumbing to comply with BS EN 12056-2:2000 for sanitary pipework. All drainage to be in accordance with Part H of the Building Regulations. Wastes to have 75mm deep anti vac bottle traps and rodding eyes to be provided at changes of direction.

Size of wastes pipes and max length of branch connections (if max length is exceeded then anti vacuum traps to be used)
Wash basin - 1.7m for 32mm pipe 4m for 40mm pipe
Bath/shower - 3m for 40mm pipe 4m for 50mm pipe
W/C - 6m for 100mm pipe for single WC
All **branch pipes** to connect to 110mm soil and vent pipe terminating min 900mm above any openings within 3m. Or to 110mm uPVC soil pipe with accessible internal air admittance valve complying with BS EN 12380, placed at a height so that the outlet is above the trap of the highest fitting.
Waste pipes not to connect on to SVP within 200mm of the WC connection.
Supply hot and cold water to all fittings as appropriate.

SOIL AND VENT PIPE

SVP to be extended up in 110mm dia UPVC and to terminate min 900mm above any openings within 3m. Provide a long radius bend at foot of SVP.

PART J: HEATING & GAS BOILERS/ APPLIANCES

Extend all heating and hot water services from existing and provide new TVRs to radiators. Heating system to be designed, installed, tested and fully certified by a GAS SAFE registered specialist. All work to be in accordance with the Local Water Authorities bye laws, the Gas Safety (Installation and Use) Regulations 1998 and IEE Regulations.

NEW GAS BOILER (IF REQUIRED)

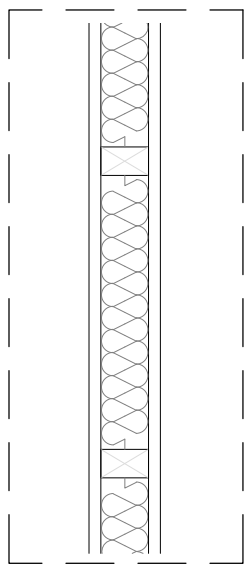
Heating and hot water will be supplied via a wall mounted condensing vertical balanced flue pressurised boiler with a min SEDBUK rating of 90%. No combustible materials within 50mm of the flue. System to be fitted with thermostatic radiator valves and all necessary zone controls and boiler control interlocks. The system will be installed, commissioned and tested by a "competent person" and a certificate issued that the installation complies with the requirements of PART L. All work to be in accordance with the Local Water Authorities bye laws, the Gas Safety (Installation and Use) Regulations 1998 and IEE Regulations.

PART P: ELECTRICAL

All electrical work required to meet the requirements of Part P (electrical safety) must be designed, installed, inspected and tested by a competent person registered under a competent person self certification scheme such as BRE certification Ltd, BSI, NICEIC Certification Services or Zurich Ltd. An appropriate BS7671 Electrical Installation Certificate is to be issued for the work by a person competent to do so. A copy of a certificate will be given to Building Control on completion.

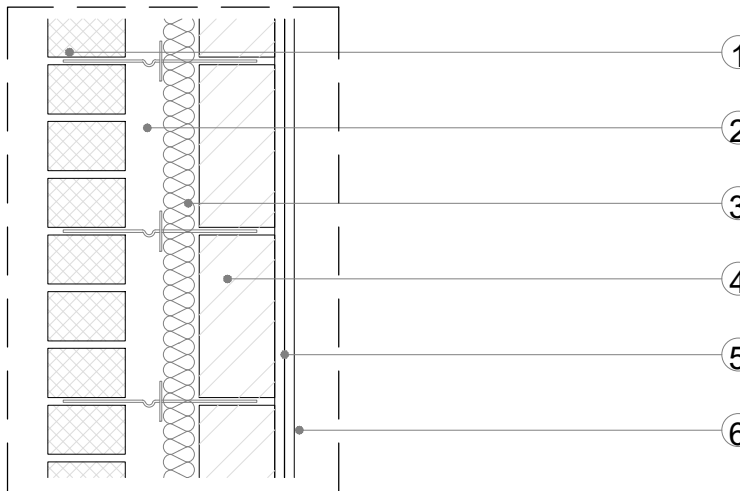
INTERNAL LIGHTING

Install low energy light fittings that only take lamps having a luminous efficiency greater than 45 lumens per circuit watt and a total output greater than 400 lamp lumens. Not less than three energy efficient light fittings per four of all the light fittings in the main dwelling spaces to comply with Part L of the current Building Regulations and the Domestic Building Services Compliance Guide.



Internal SW timber stud work
- 15mm Gyproc Soundbloc plasterboard with skim finish
- 100mm x 50mm SW timber stud work
- Tightly packed Rockwool Acoustic insulation between studs
- 12.5mm plasterboard with skim finish

- All to achieve 30 minute fire rating and min. 44db sound rating



1. 102.5mm Clay Brick
2. 50mm Cavity
3. 40mm Insulation
4. 100mm Standard concrete block inner leaf
5. 15mm Plaster dabs
6. 12.5mm Plasterboard with 3mm skim finish plaster
To achieve u-value 0,28 W/m 2K

TILES TO MATCH EXISTING

WARM FLAT ROOF TO BE BUILT WITH:
LIQUID APPLIED WATERPROOFING "ON SUITABLE CARRIER MEMBRANE"
120mm INSULATION BOARD
VAPOUR CHECK BITUMINOUS
18mm PLYWOOD
TIMBER FIRING 5-50
TIMBER JOIST C24
12.5mm PLASTER BOARD
3mm PLASTER SKIM
U-VALUE = 0,18W/m²K

VENTILATED PITCHED ROOF
SARKING FELT
18mm SOFTWOOD TIMBER SARKING BOARD (2-3mm GAPS)
50mm VENTILATED CAVITY
50mm INSULATION BOARD
100mm INSULATION BOARD UNDER RAFTER
U-VALUE = 0,18W/m²K
102.5mm BRICKWORK FACING
50mm AIR GAP
40mm INSULATION BOARD
100mm BLOCKWORK 1400 Kg/m³ (K-Value = 0,51 W/Mk)
15mm PLASTER DABS CAVITY
12.5mm PLASTERBOARD
3mm PLASTER SKIM
U-VALUE = 0,28W/m²K

BI-FOLD DOOR

PROPRIETARY EAVE VENT

DETAIL #1

SCALE: 1:10 @A1

BI-FOLD DOOR

65mm SAND CEMENT SCREE
0.5mm SEPARATION LAYER
60mm INSULATION
150mm CONCRETE SLAB
0.9mm DPC
U-VALUE = 0,21W/m²K

150mm OF WELL COMPACTED
HARDCORE

DPC TAPED &
SEALED FOR BASIC
RADON
PROTECTION

FOUNDATION TO BE
AGREED ON SITE WITH
BC INSPECTOR AND/OR
SE

GROUND

DETAIL #2

SCALE: 1:10 @A1

TOWER
RESIDENTIAL
DESIGN

Note:

This drawing is to be read in conjunction with the structural engineer's drawings. Do not scale any part of the drawing. Any discrepancies, errors or omissions to be referred to project manager for resolution. This drawing is produced for use as part of a Full Plans Building Control Application and is not intended for use as a construction drawing.

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REVISIONS:

A	REVISED AS PER LETTER RECEIVED FROM BC ON 7TH DECEMBER 2021	AAV	26.12.21

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TITLE:

BUILDING REGULATIONS
SECTIONS + NOTES

8 ELVINGTON GARDEN
LUTON
BEDFORDSHIRE
LU3 4ET

DRAWN: AAV DATE 30/09/2021

SCALES: 1:10, 1:20 & 1:50 @A1 PP# / BC#

DRG No. TRD-2104 - A4/04 - A