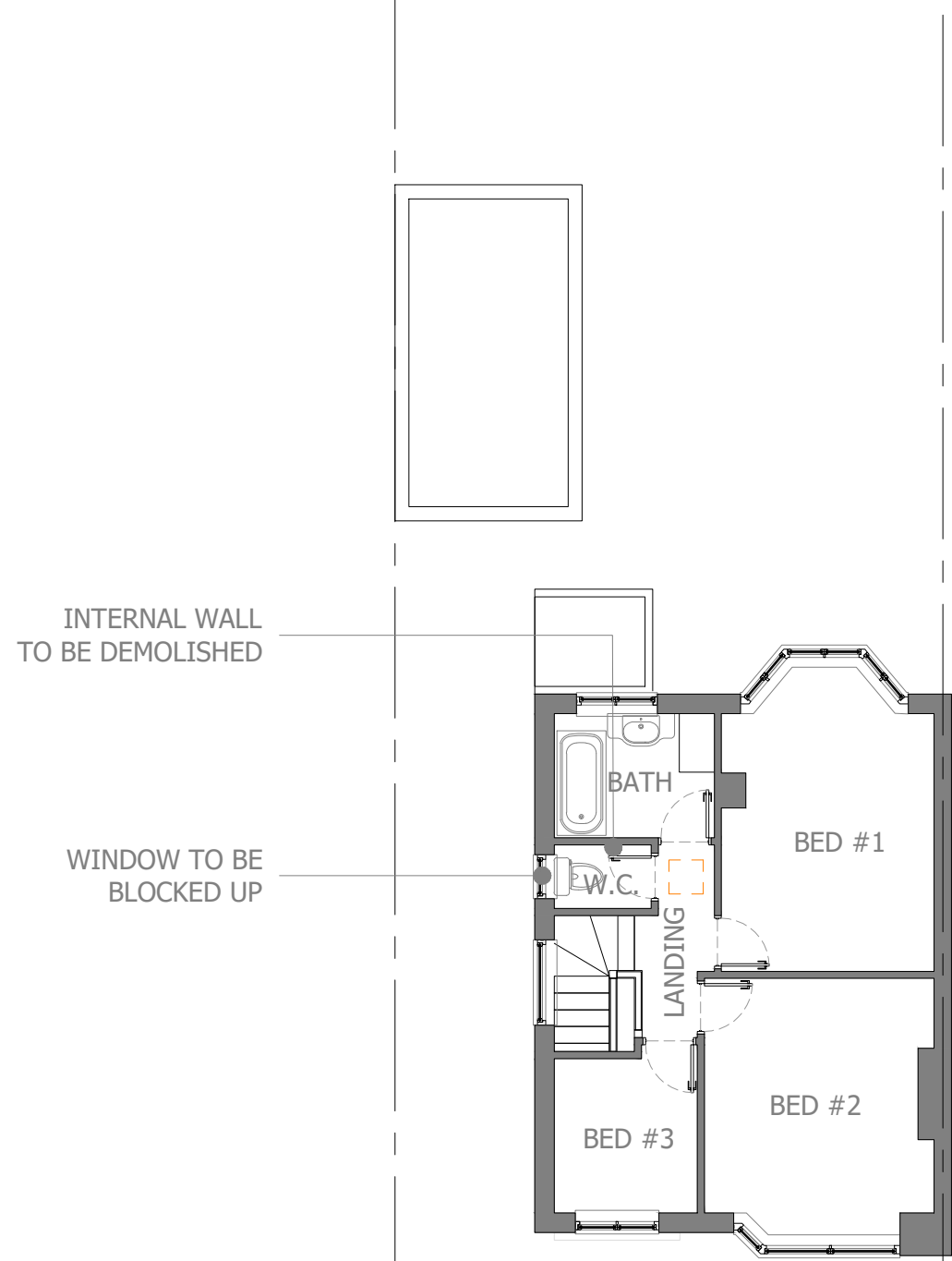
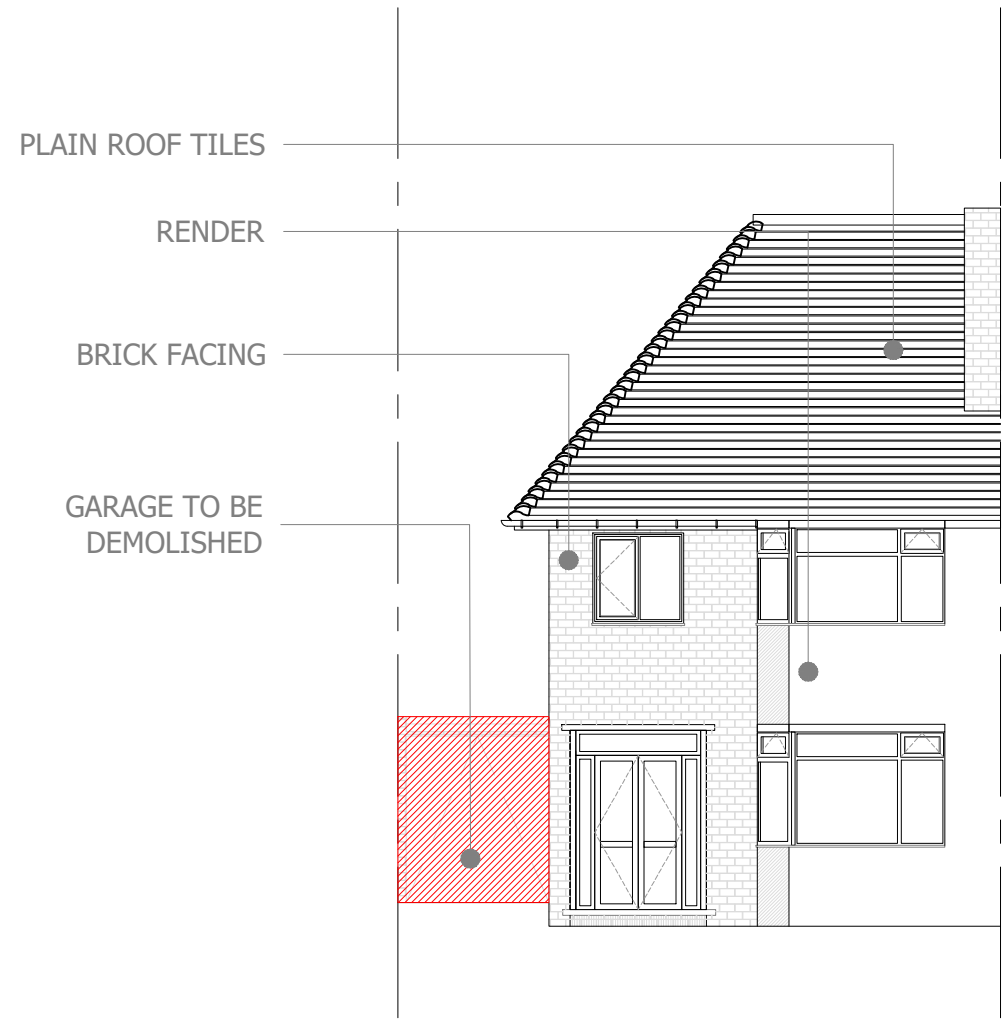


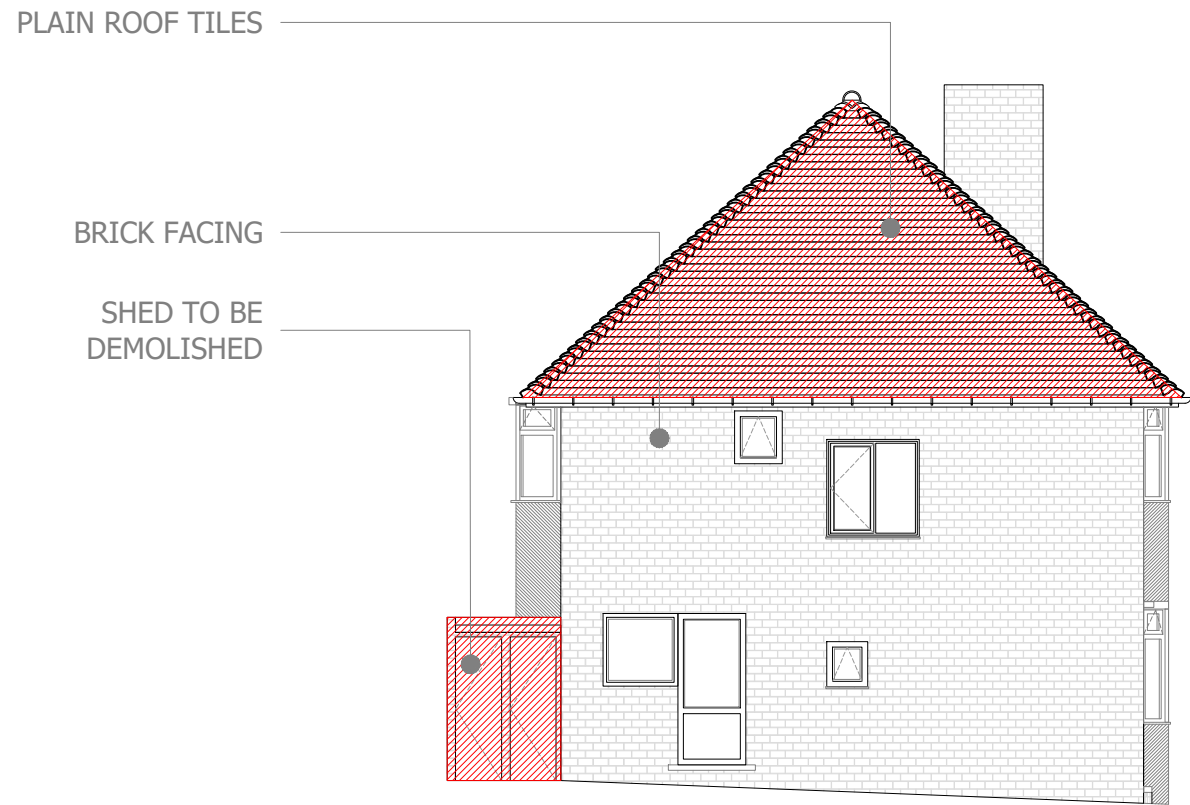
EXISTING GROUND FLOOR  
SCALE 1:100



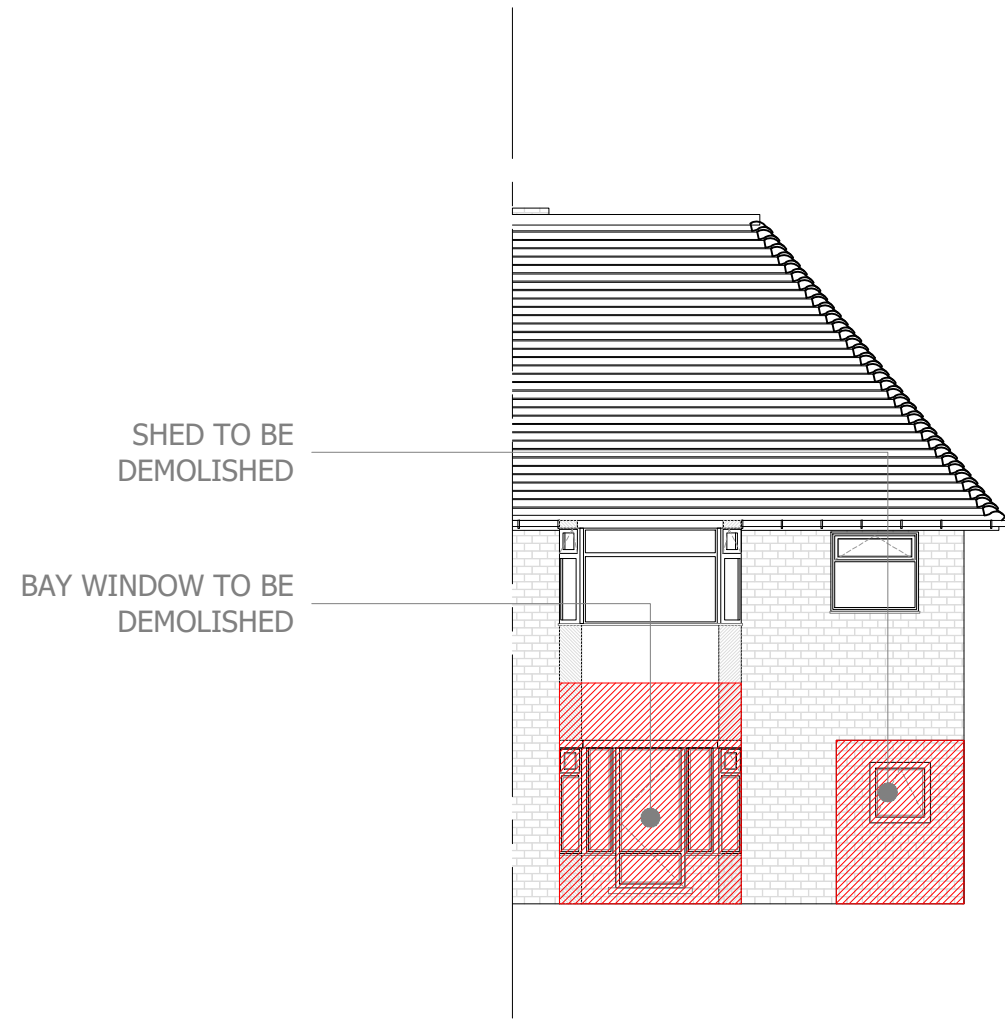
EXISTING FIRST FLOOR  
SCALE 1:100



EXISTING NORTH VIEW  
SCALE 1:100



EXISTING EAST VIEW  
SCALE 1:100

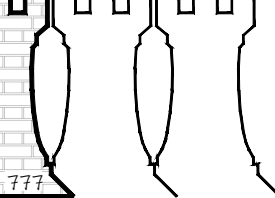


EXISTING SOUTH VIEW  
SCALE 1:100



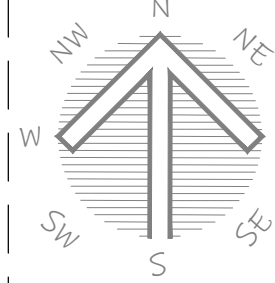
SITE LOCATION PLAN  
SCALE 1:1250

**TOWER**  
RESIDENTIAL  
DESIGN



**Note:**

This drawing is to be read in conjunction with the structural engineer's drawings. Do not scale any part of the drawing. Any discrepancies, errors or omissions to be referred to project manager for resolution. This drawing is produced for use as part of a Full Plans Building Control Application and is not intended for use as a construction drawing.



**Note:**

Alterations to existing house structure including removal of structural members etc must be in compliance with structural engineers details which must be approved by building control prior to works commencing on site.

The client must abide by the Construction Design and Management Regulations 2015. The client must appoint a contractor, if more than one contractor is to be involved, the client will need to appoint (in writing) a principal designer (to plan, manage and coordinate the planning and design work) and a principal contractor (to plan, manage and coordinate the construction and ensure there are arrangements in place for managing and organising the project).

**Domestic clients**  
The domestic client is to appoint a principal designer and a principal contractor when there is more than one contractor, if not your duties will automatically transferred to the contractor or principal contractor.

The designer can take on the duties, provided there is a written agreement between you and the designer to do so.

The Health and Safety Executive is to be notified as soon as possible before construction work starts if the works:

- (a) Last longer than 30 working days and has more than 20 workers working simultaneously at any point in the project.
- Or:
- (b) Exceeds 500 person days.

This drawings remains the copyright of Tower Residential Design and no portion should be reproduced without permission of Tower Residential Design



**REVISIONS:**


Tower Residential Design Ltd.  
www.designtrc.com  
+4407917842330  
info@designtrc.com  
West Sussex, RH7 6HT, U. K.



**TITLE:**

BUILDING REGULATIONS  
EXISTING  
PLANS + ELEVATIONS

30, KNIGHTSBRIDGE AVENUE  
SOLIHULL, WEST MIDLANDS  
B92 8RB

**DRAWN:** AAV **DATE:** 22/07/2021

**SCALES:** 1:100 @A1 **PP# / BC#**

**DRG No.** TRD-2111 - A1-05

**Preparation, protection, access & demolition:**  
All necessary scaffolding, access ladders, material hoists, temporary protection and working platforms etc for works are to be erected, maintained, certified, dismantled and removed by suitably qualified and insured specialists.  
All plumbing, drainage, heating, electrical services etc including re-siting of heating appliances/boilers/flues/tanks etc to be altered/modified/adjusted by suitably qualified & experienced specialists or registered competent persons.  
The contractor is to allow for and maintain all temporary protection to the building to maintain weather tightness until completion of works. All timber is to be protected on site to minimise moisture content (not exceeding 22%).

**Inspection of existing structure:**  
Existing foundations, lintels and wall structure that will be built off or support the new upper storey extension loadings from the proposed works may need to be exposed at the discretion of the Building Control Surveyor and structural engineer to ensure they are adequate and suitable - this may include opening up or excavating walls/floors (and subsequent making good) to check internal foundations or walls.  
Should the existing structure not appear adequate to support the proposed works then proposed remedial works/alterations may be required to be submitted to Building Control for approval prior to works commencing on site.

**CONSTRUCTION NOTES:**  
*These notes are to be read in conjunction with all relevant Architect's drawings and details, Chartered Engineer's details and calculations, and any other specialist consultants' details and specifications.*

*It is the responsibility of the contractor to ensure that all their work is in compliance with the appropriate requirements of the relevant building regulations and other allied legislation. Contractor to thoroughly read plans and calculations before commencement to ensure thorough understanding of all aspects of proposals.*

All work to be carried out in strict accordance with all current Building Regulations requirements, British Standards, Codes of Practice, Agrément Certificates, Yorkshire Water Authority procedures and relevant HSE requirements.

All dimensions must be checked and verified on site prior to commencement of work and architect notified of any discrepancies. Horizontal and vertical setting-out of buildings, roads and drainage to be agreed with LA before commencement of work.

All materials to be installed in strict accordance with manufacturers' recommendations, all relevant Agrément Certificates, British Standards etc and to Local Authority approval.

Any deviation or change from materials as specified in these notes and on the relevant drawings to be agreed in writing with the Building Inspector prior to commencement of work.

**It is the Contractor's responsibility to submit all appropriate Building Notices for Building Control inspections before relevant works are covered up.**

Calculations where required for loading, strength and structural stability to be submitted by Chartered Engineer for approval by Local Authority.

**CONSTRUCTION NOTES cont:**  
All timbers to be fit for purpose and to have suitable double Vac-Vac preservative treatment or equivalent Local Authority approved pressure-impregnation method.  
All structural timbers to be in full accordance with BSS268 Part 2.  
All general joinery timber to be in full accordance with BS1186 Parts 1 & 2.  
Covered up structural timbers to be fit-for-purpose selected structural grade C24 treated SW timbers to BS EN 338.

Site to be used only for the demolition / construction of the proposed works, which is to be protected at all times along with adjacent properties, not forming part of the works.  
care must be taken at all times to ensure that any works on the supply of all services into and from property, ie electricity, water, gas, bt, foul water and surface water drainage, does not, at any time interfere with the supply of services into or out from the adjacent properties, is not affected, if this proves not to be the case, then the contractor is to fully advise properties affected, as soon as problem is known, and is to negotiate with adjacent properties regarding any appropriate action that may be required. prevent smoke, dust, fumes, spillage, and other harmful activities. no fires to be allowed on site, at any time; noise levels to be kept to a reasonable level, complying with bs 5228 - 'noise control on construction sites'.

Rubbish and debris must not be allowed to accumulate on site and is to be carted away to licensed tip as occasion demands. Site to be left clean and tidy on completion.

Contractor, sub-contractors etc. to comply with health and safety regulations during execution of the works.  
Locate existing services before works commence. Take all necessary precautions when carrying out demolition works, forming new openings, excavations and working at roof or/and high level. for alteration work requiring new openings in walls or the removal of existing walls, the builder is to follow the guidance in the building research establishment 'good building guides' 15 and 20 - 'providing temporary support during work on openings in external walls' and 'removing internal load-bearing walls in older dwellings'.  
Any live mains electrical cables within working distance to be sheathed / protected.

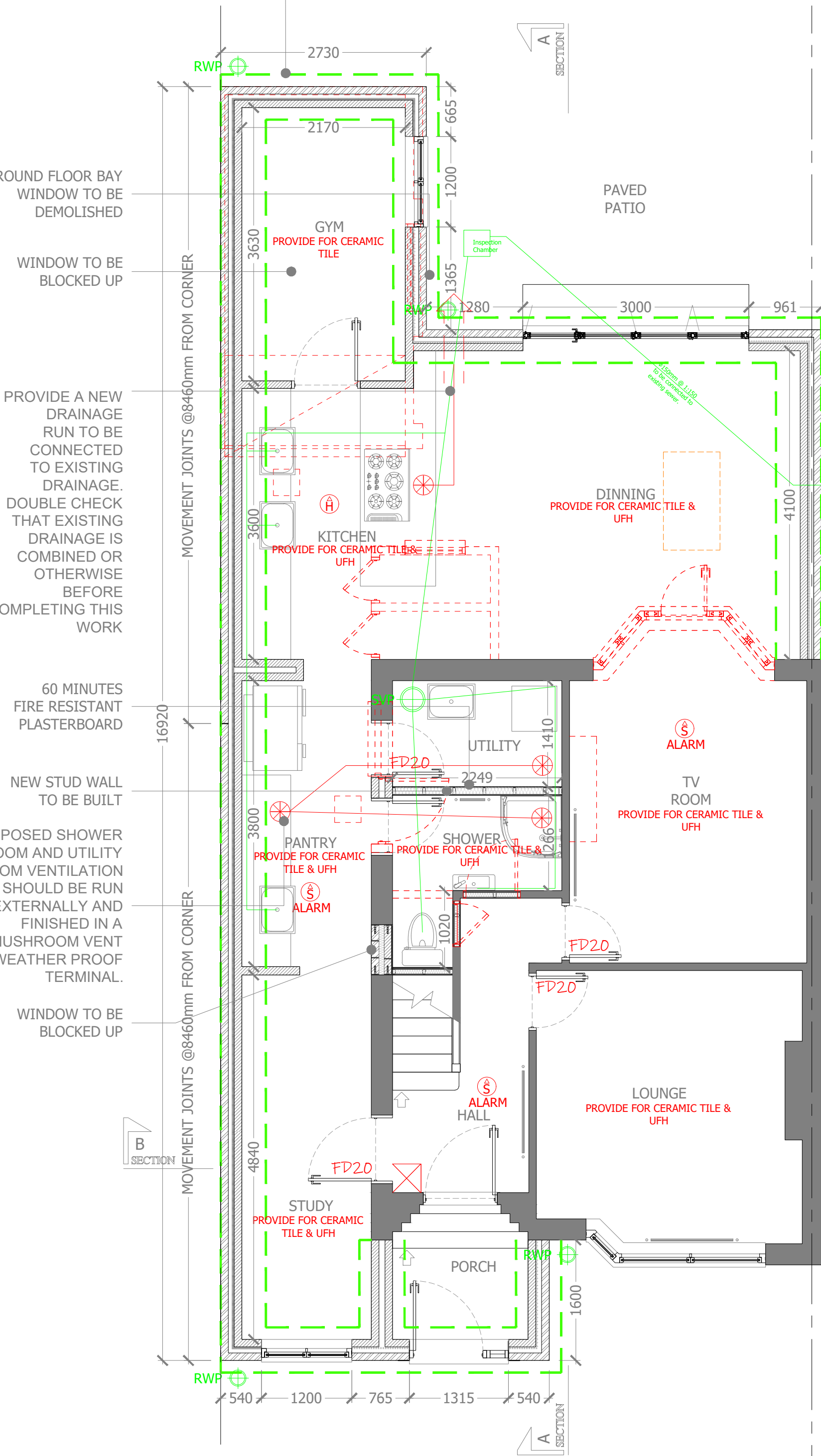
**PLEASE NOTE:** All the materials specified and the construction details shown are not to be changed) without the full knowledge and prior approval of the client as any changes may have a detrimental effect on the designed/required carbon emissions of the structure as designed.



MOVEMENT JOINTS

- Movement joints should be included in long lengths of walling to reduce unsightly cracking, and detailed so that stability is maintained. Where possible, joints should be hidden corners or behind rain water pipes, and:
- Run the full length of the masonry wall
  - Continue from those provided in the substructure to the superstructure (movement joints may be needed in the superstructure and not in the substructure, providing suitable allowance is made for relative movement).
  - 16mm joint width
  - Maximum spacing of 12.5m (15m maximum)
  - Movement joints should be formed from easily compressible material
  - Sealant should be an minimums of 10mm deep to ensure a good bond.

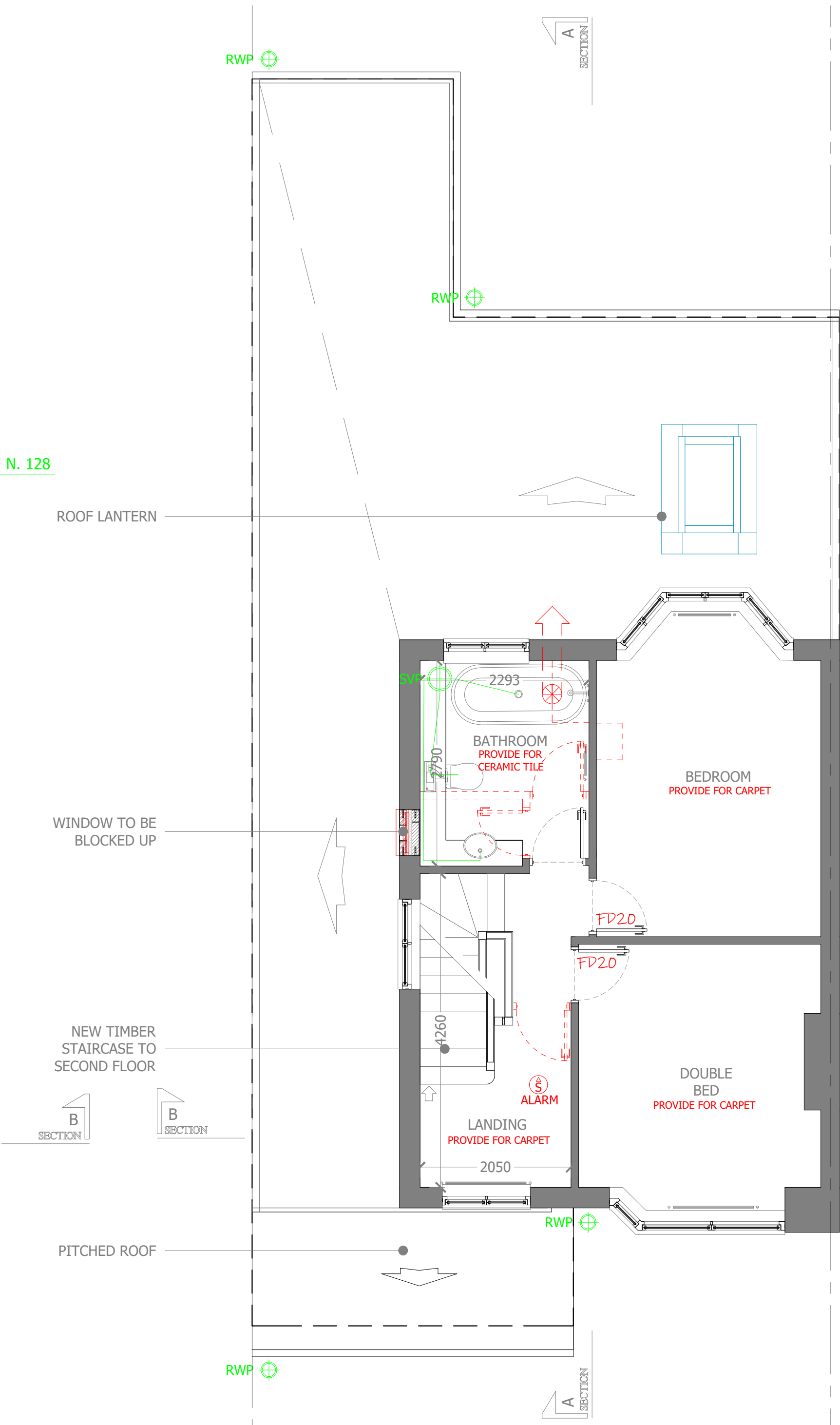
Outline of proposed foundation profile. Refer to Engineer's design. Eccentric foundations to be installed at boundaries with neighbours.



PROPOSED GROUND FLOOR  
SCALE AS PER SHEET TITLE

EXTRACT TO BATHROOM

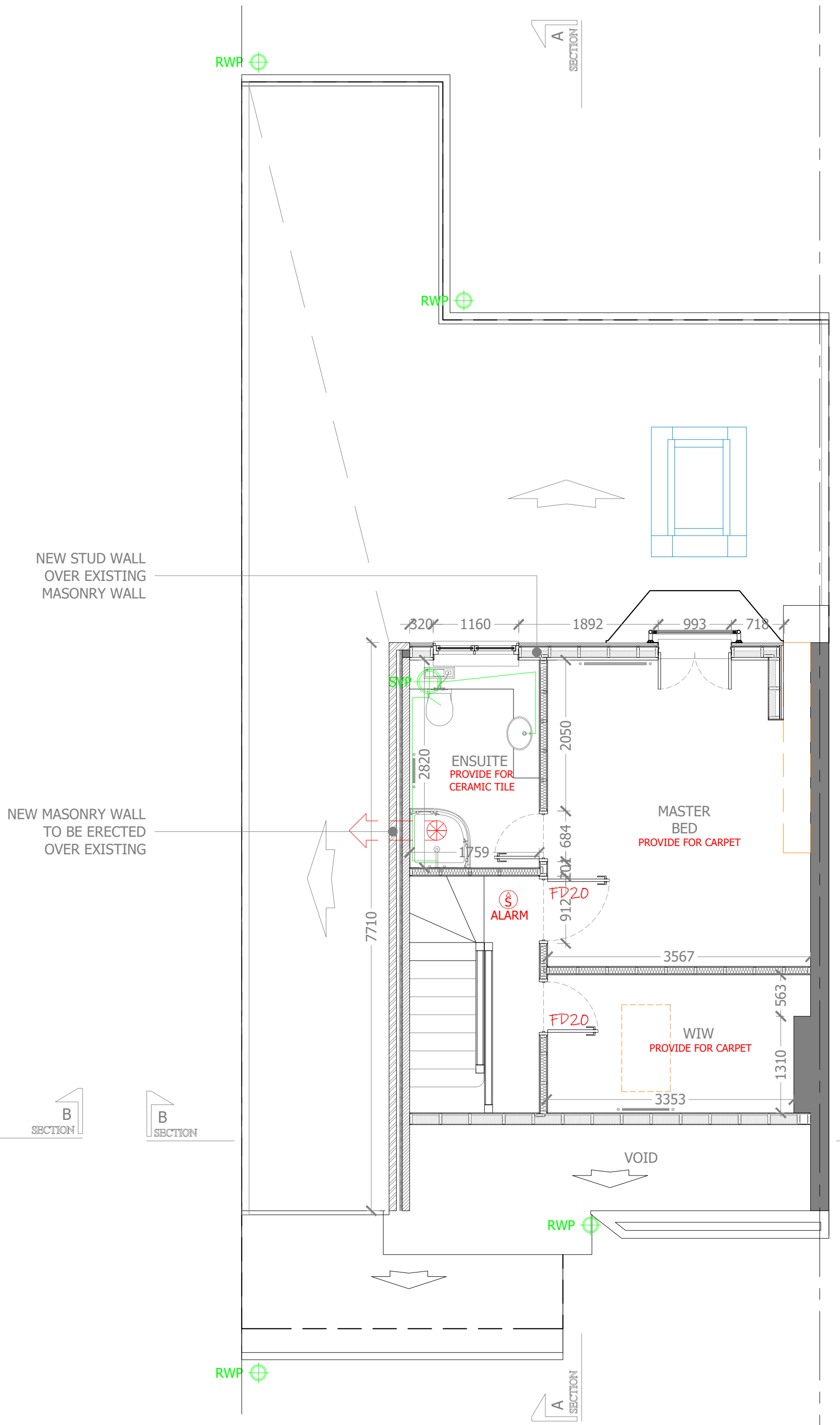
Bathroom to have mechanical vent ducted to external air to provide min 15 litres / sec extraction. Vent to be connected to light switch and to have 15 minute over run if no window in room. Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide. Intermittent extract fans to BS EN 13141-4. All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body



PROPOSED FIRST FLOOR  
SCALE AS PER SHEET TITLE

EXTRACT TO KITCHEN

Kitchen to have mechanical ventilation with an extract rating of 60l/sec or 30l/sec if adjacent to hob to external air, sealed to prevent entry of moisture. Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide. Intermittent extract fans to BS EN 13141-4. Cooker hoods to BS EN 13141-3. All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body.

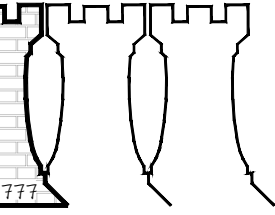


PROPOSED SECOND FLOOR  
SCALE AS PER SHEET TITLE

EXTRACT TO UTILITY ROOM

To utility room provide mechanical ventilation ducted to external air capable of extracting at a rate of 30 litres per second. Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide. Intermittent extract fans to BS EN 13141-4. All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body

TOWER  
RESIDENTIAL  
DESIGN



Note:

This drawing is to be read in conjunction with the structural engineer's drawings. Do not scale any part of the drawing. Any discrepancies, errors or omissions to be referred to project manager for resolution. This drawing is produced for use as part of a Full Plans Building Control Application and is not intended for use as a construction drawing.

Note:

Alterations to existing house structure including removal of structural members etc must be in compliance with structural engineers details which must be approved by building control prior to works commencing on site.

The client must abide by the Construction Design and Management Regulations 2015. The client must appoint a contractor, if more than one contractor is to be involved, the client will need to appoint (in writing) a principal designer (to plan, manage and coordinate the planning and design work) and a principal contractor (to plan, manage and coordinate the construction and ensure there are arrangements in place for managing and organising the project).

Domestic clients  
The domestic client is to appoint a principal designer and a principal contractor when there is more than one contractor, if not your duties will automatically transferred to the contractor or principal contractor.

The designer can take on the duties, provided there is a written agreement between you and the designer to do so.

The Health and Safety Executive is to be notified as soon as possible before construction work starts if the works:

- (a) Last longer than 30 working days and has more than 20 workers working simultaneously at any point in the project.  
Or:  
(b) Exceeds 500 person days.

This drawings remains the copyright of Tower Residential Design and no portion should be reproduced without permission of Tower Residential Design



REVISIONS:

NO.	REVISION	DATE

Tower Residential Design Ltd.  
www.designtrc.com  
+4407917842330  
info@designtrc.com  
West Sussex, RH7 6HT, U. K.



TITLE:  
BUILDING REGULATIONS  
PROPOSED PLANS

30, KNIGHTSBRIDGE AVENUE  
SOLI HULL, WEST MIDLANDS  
B92 8RB

DRAWN: AAV DATE 22/07/2021

SCALES: 1:50 2A1 / 1:100 2A3 PP# / BC#

DRG No. TRD-2111 - A2-05



Note:

This drawing is to be read in conjunction with the structural engineer's drawings. Do not scale any part of the drawing. Any discrepancies, errors or omissions to be referred to project manager for resolution. This drawing is produced for use as part of a Full Plans Building Control Application and is not intended for use as a construction drawing.

Note:

Alterations to existing house structure including removal of structural members etc must be in compliance with structural engineers details which must be approved by building control prior to works commencing on site.

The client must abide by the Construction Design and Management Regulations 2015. The client must appoint a contractor, if more than one contractor is to be involved, the client will need to appoint (in writing) a principal designer (to plan, manage and coordinate the planning and design work) and a principal contractor (to plan, manage and coordinate the construction and ensure there are arrangements in place for managing and organising the project).

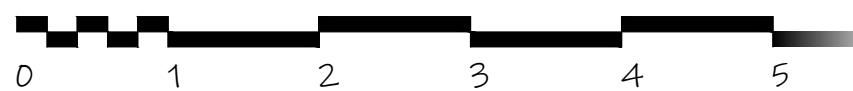
Domestic clients  
The domestic client is to appoint a principal designer and a principal contractor when there is more than one contractor, if not your duties will automatically transferred to the contractor or principal contractor.

The designer can take on the duties, provided there is a written agreement between you and the designer to do so.

The Health and Safety Executive is to be notified as soon as possible before construction work starts if the works:

- (a) Last longer than 30 working days and has more than 20 workers working simultaneously at any point in the project.  
Or:  
(b) Exceeds 500 person days.

This drawings remains the copyright of Tower Residential Design and no portion should be reproduced without permission of Tower Residential Design



REVISIONS:


Tower Residential Design Ltd.  
www.designtrc.com  
+4407917842330  
info@designtrc.com  
West Sussex, RH7 6HT, U. K.



TITLE:

BUILDING REGULATIONS  
PROPOSED  
ELEVATIONS + SECTIONS

30, KNIGHTSBRIDGE AVENUE  
SOLI HULL, WEST MIDLANDS  
B92 8RB

DRAWN: AAV DATE 22/07/2021

SCALES: 1:50 @A1 / 1:100 @A3 PP# / BC#

DRG No. TRD-2111 - A3-05

INSULATION OVER CEILING JOISTS TO BE:  
TILES ON BATTENS  
SARKING FELT  
100mm - KOOLTHERM K7 - LAY ACROSS  
TOP OF JOIST  
100mm - KOOLTHERM K7 - LAY BETWEEN  
JOIST  
0.5mm - POLYTHENE VAPOUR CONTROL  
LAYER  
12.5mm - PLASTER BOARD  
3mm - PLASTER SKIM  
U-VALUE = 0,11W/m²K

RAKED CEILING TO BE BUILT WITH:  
TILES ON BATTENS  
KINGSPAN NIVENT .17 BREATHABLE  
MEMBRANE  
75mm KOOLTHERM K7 INSULATION  
WITH 25mm VENT SPACE  
50mm KOOLTHERM K118 INSULATED  
PLASTERBOARD  
WITH 3mm PLASTER SKIM  
U-VALUE = 0,18W/m²K

ROOF LIGHT TO BE  
1.7M FROM  
FFL

WARM FLAT ROOF TO BE BUILT WITH:  
LIQUID APPLIED WATERPROOFING  
"ON SUITABLE CARRIER MEMBRANE"  
120mm INSULATION BOARD  
VAPOUR CHECK BITUMINOUS  
18mm PLYWOOD  
TIMBER FIRING 5-50  
TIMBER JOIST C24  
12.5mm PLASTER BOARD  
3mm PLASTER SKIM  
U-VALUE = 0,18W/m²K

FRENCH DOOR WITH  
JULIET BALCONY

ROOF LANTERN  
Min U-value of 1.6 W/m²K.

Roof-lights to be double glazed with 16mm argon gap and soft low-E glass. Window Energy Rating to be Band C or better. Roof lights to be fitted in accordance with manufacturer's instructions with rafters doubled up to sides and suitable flashings.

WARM FLAT ROOF TO BE BUILT WITH:  
LIQUID APPLIED WATERPROOFING  
"ON SUITABLE CARRIER MEMBRANE"  
120mm INSULATION BOARD  
VAPOUR CHECK BITUMINOUS  
18mm PLYWOOD  
TIMBER FIRING 5-50  
TIMBER JOIST C24  
12.5mm PLASTER BOARD  
3mm PLASTER SKIM  
U-VALUE = 0,18W/m²K

BRICKWORK TO MATCH  
EXISTING

PROPOSED BI-FOLD DOORS TO BE INSTALLED  
TO MEET A 1.4 U-VALUE.

PLAIN ROOF TILES TO MATCH  
EXISTING

102.5mm BRICKWORK FACING  
50mm AIR GAP  
40mm INSULATION BOARD  
100mm BLOCKWORK 1400 Kg/m³  
(K-Value = 0,51 W/Mk)  
15mm PLASTER DABS CAVITY  
12.5mm PLASTERBOARD  
3mm PLASTER SKIM  
U-VALUE = 0,28W/m²K

WARM FLAT ROOF TO BE BUILT WITH:  
LIQUID APPLIED WATERPROOFING  
"ON SUITABLE CARRIER MEMBRANE"  
120mm INSULATION BOARD  
VAPOUR CHECK BITUMINOUS  
18mm PLYWOOD  
TIMBER FIRING 5-50  
TIMBER JOIST C24  
12.5mm PLASTER BOARD  
3mm PLASTER SKIM  
U-VALUE = 0,18W/m²K

NEW EXTENSION FLOOR  
LEVELED WITH EXISTING

PROPOSED CROSS SECTION B-B

SCALE: 1:50 @A1

PROPOSED CROSS SECTION A-A

SCALE: 1:50 @A1

PLAIN ROOF TILES  
TO MATCH EXISTING

ROOF LIGHT TO BE  
INSTALLED 1.7M FROM  
FFL

PLAIN ROOF TILES  
TO MATCH EXISTING

GOOD QUALITY  
COMPOSITE DOOR

BRICKWORK TO MATCH  
EXISTING

BRICKWORK TO MATCH  
EXISTING

MOVEMENT JOINT

BRICKWORK TO MATCH  
EXISTING

PROPOSED EAST VIEW

SCALE: 1:100 @A1

PLAIN ROOF TILES  
TO MATCH EXISTING

UPVC CLADDING

DORMER CHEEK  
22mm PLYWOOD UPGRADE  
30 MIN. FIRE RESISTANT  
COATING  
42 HW COATING SYSTEM  
UNDER UPVC CLADDING

PROPOSED SOUTH VIEW

SCALE: 1:100 @A1

PROPOSED NORTH VIEW

SCALE: 1:100 @A1



CONSTRUCTION NOTES:

PART A: STRUCTURE  
BEAMS

Supply and install new structural elements such as new beams, roof structure, floor structure, bearings, and padstones in accordance with the Structural Engineer's calculations and details. New steel beams to be encased in 12.5mm Gyproc FireLine board with staggered joints, Gyproc FireCase or painted in Nullfire S or similar intumescent paint to provide 1/2 hour fire resistance as agreed with Building Control. All fire protection to be installed as detailed by specialist manufacturer.

TRENCH FOUNDATIONS

Provide concrete foundations to satisfy the Structural Engineer and Buildng Control accordingly. Concrete mix should conform to BS EN 206-1 and BS 8500-2. All foundations to be a minimum of 1000mm below ground level, exact depth to be agreed on site with Building Control Officer to suit site conditions. All constructed in accordance with 2004 Building Regulations A1/2 and BS 8004:1986 Code of Practice for Foundations.

Ensure foundations are constructed below invert level of any adjacent drains. Base of foundations supporting internal walls to be min 600mm below ground level. Sulphate resistant cement to be used if required. **Please note that should any adverse soil conditions or difference in soil type be found or any major tree roots in excavations, the Building Control Officer is to be contacted and the advice of a structural engineer should be sought.**

PART B: FIRE SAFETY

Joints between fire-seperating elements should be fire-stopped and all openings for pipes, ducts, conduits, cables to pass through any part of a fire-separating element should be kept few in number as possible, kept small as practicable and fire-stopped (allowing for thermal movement in ducts and pipes). Any such joints between fire separating elements should have a minimum of 30mins fire resistance in line with surrounding construction.

Heat detector in kitchen area to be linked to smoke detectors on landings and hallways.

All smoke alarms should be mains operated and conform to BS 5839-6:2017. They should have secondary power supply. All alarms should be linked so that if one is set off then all will alarm.

**(S)** = Smoke Detector **(H)** = Heat Detector

PART F: VENTILATION

BACKGROUND AND PURGE VENTILATION

Background ventilation - Controllable background ventilation via trickle vents to BS EN 13141-3 within the window frame to be provided to new habitable rooms at a rate of min 5000mm², and to kitchens, bathrooms, WCs and utility rooms at a rate of 2500mm²

Purge ventilation - New Windows/rooflights to have openable area in excess of 1/20th of their floor area, if the window opens more than 30° or 1/10th of their floor area if the window opens less than 30° Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide.

EXTRACT VENT FOR PROPOSED WET AREAS

Provide mechanical extract ventilation to shower room/ WC/ Ensuite/ Bathroom ducted to external air capable of extracting at a rate of not less than 15 litres per second. Vent to be connected to light switch and to have 15 minute over run if no window in the room. Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide. Intermittent extract fans to BS EN 13141-4. All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body.

EXTRACT VENT TO UTILITY ROOM

To utility room provide mechanical ventilation ducted to external air capable of extracting at a rate of 30 litres per second. Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide. Intermittent extract fans to BS EN 13141-4. All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body.

WINDOWS/ DOORS

All opening sashes to be draught-stripped to a minimum U-value of 1.4W/m² K. All overhead glazing to be laminated safety glass. New windows to be fitted with 4000mm2 trickle vents to head of frame. External leafs of glass to have solar control filters and UV filters to clients requirements fitted to the outer leaf on the cavity side of the pane of glass. ALL OPENINGS TO BE FINISHED WITH INSULATED CAVITY CLOSERS. Confirm order with client prior to purchase.

ROOF LIGHTS

Min U-value of 1.4 W/m²K. Roof-lights to be double glazed with 16mm argon gap and soft low-E glass. Window Energy Rating to be Band C or better. Roof lights to be fitted in accordance with manufacturer's instructions with rafters doubled up to sides and suitable flashings etc.

SAFETY GLAZING

All glazing in critical locations to be toughened or laminated safety glass to BS 6206, BS EN 14179 or BS EN ISO 12543-1:2011 and Part K (Part N in Wales) of the current Building Regulations, i.e. within 1500mm above floor level in doors and side panels within 300mm of door opening and within 800mm above floor level in windows.

NEW AND REPLACEMENT WINDOWS

New and replacement windows to be double glazed with 16mm argon gap and soft coat low-E glass. Window Energy Rating to be Band C or better and to achieve U-value of 1.4 W/m²K. The door and window openings should be limited to 25% of the extension floor area plus the area of any existing openings covered by the extension.

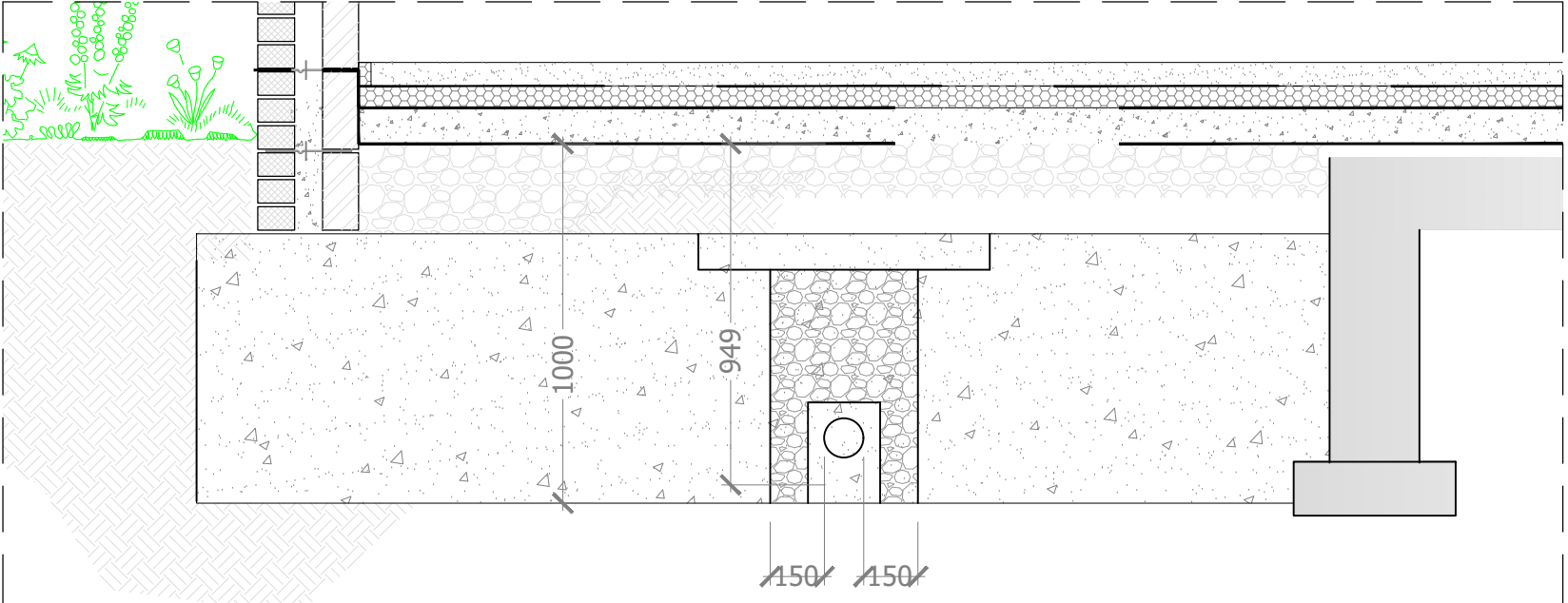
NEW AND REPLACEMENT DOORS

New and replacement doors to achieve a U-Value of 1.8W/m²K. Glazed areas to be double glazed with 16mm argon gap and soft low-E glass. Glass to be toughened or laminated safety glass to BS 6206, BS EN 14179 or BS EN ISO 12543-1:2011 and Part K (Part N in Wales) of the current Building Regulations.

PART H: DRAINAGE AND WASTE DISPOSAL

RAINWATER DRAINAGE

New rainwater goods to be new 110mm UPVC half round gutters taken and connected into 68mm dia UPVC downpipes. Rainwater taken to new soakaway, situated a min distance of 5.0m away from any building, via 110mm dia UPVC pipes surrounded in 150mm granular fill. Soakaway to be min of 1 cubic metre capacity (or to depth to Local Authorities approval) with suitable granular fill and with geotextile surround to prevent migration of fines. If necessary carry out a porosity test to determine design and depth of soakaway.



DRAINAGE BUILD OVER SECTION

SCALE: 1:20 @A1

UNDERGROUND FOUL DRAINAGE

Underground drainage to consist of 100mm diameter UPVC proprietary pipe work to give a 1:40 fall. Surround pipes in 100mm pea shingle. Provide 600mm suitable cover (900mm under drives). Shallow pipes to be covered with 100mm reinforced concrete slab over compressible material. Provide rodding access at all changes of direction and junctions. All below ground drainage to comply with BS EN 1401-1: 2009.

Where drains pass through proposed foundations or other rigid structures a concrete lintel should be used to bridge the pipe run. All existing and proposed drainage runs should be cleaned and confirmed clear prior to covering over.

INSPECTION CHAMBERS

Underground quality proprietary UPVC 450mm diameter inspection chambers to be provided at all changes of level, direction, connections and every 45m in straight runs. Inspection chambers to have bolt down double sealed covers in buildings and be adequate for vehicle loads in driveways.

ABOVE GROUND DRAINAGE

New sinks to kitchen/ bathrooms to have trapped waste pipes.

All new appliances to be fitted with the minimum waste dimensions;

	Trap diameter	Depth of seal
Kitchen sink	40	75
Washbasin	32	75
Bath, Shower	40	50
W.C.	75	50
Washing Machine/ Tumble Dryer	40	75

All new piping to be connected to new SVP's accordingly based on positioning and layout. Ensure that all joints are adequately sealed.

All boxed in pipework should be wrapped in an acoustic mineral wool to minimise sound transmission.

All new above ground drainage and plumbing to comply with BS EN 12056-2:2000 for sanitary pipework. All drainage to be in accordance with Part H of the Building Regulations. Wastes to have 75mm deep anti vac bottle traps and rodding eyes to be provided at changes of direction.

Size of wastes pipes and max length of branch connections (if max length is exceeded then anti vacuum traps to be used)

**Wash basin** - 1.7m for 32mm pipe 4m for 40mm pipe

**Bath/shower** - 3m for 40mm pipe 4m for 50mm pipe

**W/C** - 6m for 100mm pipe for single WC

All **branch pipes** to connect to 110mm soil and vent pipe terminating min 900mm above any openings within 3m. Or to 110mm uPVC soil pipe with accessible internal air admittance valve complying with BS EN 12380, placed at a height so that the outlet is above the trap of the highest fitting. Waste pipes not to connect on to SVP within 200mm of the WC connection. Supply hot and cold water to all fittings as appropriate.

SOIL AND VENT PIPE

SVP to be extended up in 110mm dia UPVC and to terminate min 900mm above any openings within 3m. Provide a long radius bend at foot of SVP.

PART J: HEATING & GAS BOILERS/ APPLIANCES

Extend all heating and hot water services from existing and provide new TVRs to radiators. Heating system to be designed, installed, tested and fully certified by a GAS SAFE registered specialist. All work to be in accordance with the Local Water Authorities bye laws, the Gas Safety (Installation and Use) Regulations 1998 and IEE Regulations.

NEW GAS BOILER (IF REQUIRED)

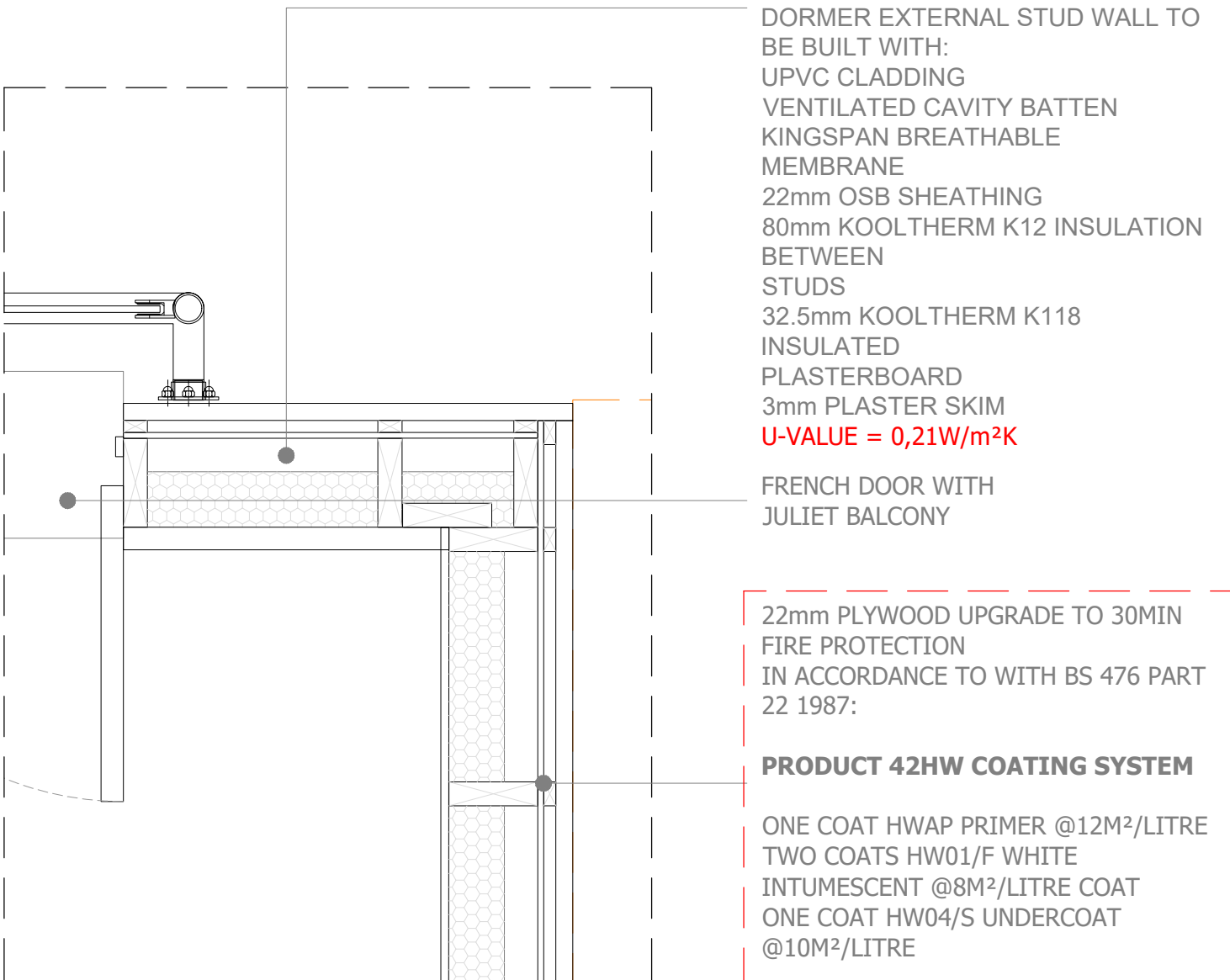
Heating and hot water will be supplied via a wall mounted condensing vertical balanced flue pressurised boiler with a min SEDBUK rating of 90%. No combustible materials within 50mm of the flue. System to be fitted with thermostatic radiator valves and all necessary zone controls and boiler control interlocks. The system will be installed, commissioned and tested by a "competent person" and a certificate issued that the installation complies with the requirements of PART L. All work to be in accordance with the Local Water Authorities bye laws, the Gas Safety (Installation and Use) Regulations 1998 and IEE Regulations.

PART P: ELECTRICAL

All electrical work required to meet the requirements of Part P (electrical safety) must be designed, installed, inspected and tested by a competent person registered under a competent person self certification scheme such as BRE certification Ltd, BSI, NICEIC Certification Services or Zurich Ltd. An appropriate BS7671 Electrical Installation Certificate is to be issued for the work by a person competent to do so. A copy of a certificate will be given to Building Control on completion.

INTERNAL LIGHTING

Install low energy light fittings that only take lamps having a luminous efficiency greater than 45 lumens per circuit watt and a total output greater than 400 lamp lumens. Not less than three energy efficient light fittings per four of all the light fittings in the main dwelling spaces to comply with Part L of the current Building Regulations and the Domestic Building Services Compliance Guide.



DORMER CHEEK DETAIL

SCALE: 1:10 @A1

DORMER EXTERNAL STUD WALL TO BE BUILT WITH:  
UPVC CLADDING  
VENTILATED CAVITY BATTEN  
KINGSPAN BREATHABLE MEMBRANE  
22mm OSB SHEATHING  
80mm KOOLTHERM K12 INSULATION BETWEEN STUDS  
32.5mm KOOLTHERM K118 INSULATED PLASTERBOARD  
3mm PLASTER SKIM  
**U-VALUE = 0,21W/m²K**

BI-FOLD DOOR

DETAIL #1

SCALE: 1:10 @A1

BOX IN GUTTER FLASHING RE-ADHERED USING PROPRIETARY ADHESIVE WHERE LIFTING TO PARTY WALL

WARM FLAT ROOF TO BE BUILT WITH:  
LIQUID APPLIED WATERPROOFING "ON SUITABLE CARRIER MEMBRANE"  
120mm INSULATION BOARD  
VAPOUR CHECK BITUMINOUS 18mm PLYWOOD  
TIMBER FIRING 5-50  
TIMBER JOIST C24  
12.5mm PLASTER BOARD  
3mm PLASTER SKIM  
**U-VALUE = 0,18W/m²K**

CAVITY TRAY AND WEEP HOLE

LINTEL TO SE's DETAILS

BI-FOLD DOOR

102.5mm BRICKWORK FACING  
50mm AIR GAP  
40mm INSULATION BOARD  
100mm BLOCKWORK 1400 Kg/m³ (K-Value = 0,51 W/Mk)  
15mm PLASTER DABS CAVITY  
12.5mm PLASTERBOARD  
3mm PLASTER SKIM  
**U-VALUE = 0,28W/m²K**

DETAIL #2

SCALE: 1:10 @A1

BI-FOLD DOOR

65mm SAND CEMENT SCREE  
0.5mm SEPARATION LAYER  
60mm INSULATION  
150mm CONCRETE SLAB  
0.9mm DPC  
**U-VALUE = 0,21W/m²K**

150mm OF WELL COMPACTED HARDCORE  
DPC TAPED & SEALED FOR BASIC RADON PROTECTION

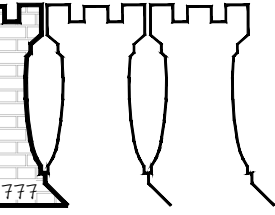
FOUNDATION TO BE AGREED ON SITE WITH BC INSPECTOR AND/OR SE

GROUND

DETAIL #3

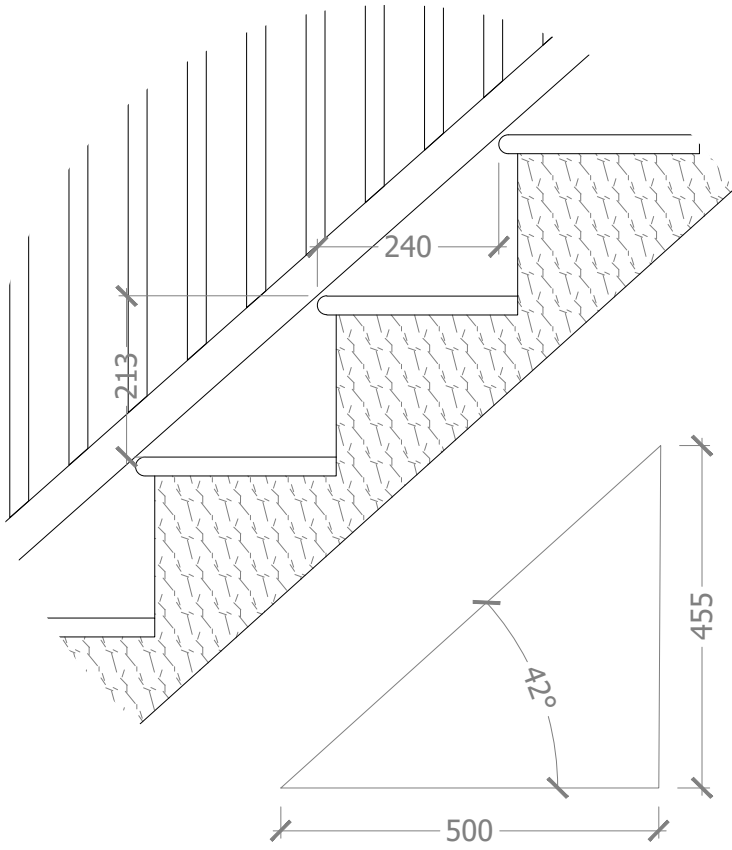
SCALE: 1:10 @A1

TOWER  
RESIDENTIAL  
DESIGN



Note:

This drawing is to be read in conjunction with the structural engineer's drawings. Do not scale any part of the drawing. Any discrepancies, errors or omissions to be referred to project manager for resolution. This drawing is produced for use as part of a Full Plans Building Control Application and is not intended for use as a construction drawing.



STAIRCASE DETAILS

SCALE 1:10

STAIRCASE FIRST FLOOR TO LOFT

(Max. Pitch 42°)  
Overall String = 700mm  
Height= 2555  
12 no risers @213mm  
11 no goings @240mm  
Provide apron detail to edge of the open staircase  
Height of handrail to be 900mm off pitch line of stairs.  
2000mm min. clear headroom measured vertically above pitch line across full width of stairs.  
**30" Fire Resistant Construction**

This drawings remains the copyright of Tower Residential Design and no portion should be reproduced without permission of Tower Residential Design



REVISIONS:

NO.	REVISION	DATE

Tower Residential Design Ltd.  
www.designtrc.com  
+4407917842330  
info@designtrc.com  
West Sussex, RH7 6HT, U. K.



TITLE:

BUILDING REGULATIONS  
SECTIONS + NOTES

30, KNIGHTSBRIDGE AVENUE  
SOLI HULL, WEST MIDLANDS  
B92 8RB

DRAWN: AAV DATE 22/07/2021

SCALES: 1:50 @A1 / 1:100 @A3 PP# / BC#

DRG No. TRD-2111 - A3-05